# ALGORRY ZAPPIA & ASSOCIATES PT. ID

ABN 43 064 952 692

## Building Designers & Consulting Civil & Structural Engineers

## PROPOSED RESIDENTIAL DEVELOPMENT

LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue **MOOREBANK** 

## **ANDREW HASTIE**



- Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170 P.O. Box 825, Liverpool Business Centre, NSW 1871
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LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000 P: 61 2 9247 7667 ABN: 27 085 744 958 www.villaandvilla.com.au

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TIONS		
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3D MODEL & FINISH SCHEDULE

ISSUED FOR DA.

SECTIO	NS	
A501	SECTION & DETAIL	

A601 3D VIEWS, MATERIALS & FINISH SCHEDULE

Issue	Description	Date
A	ISSUED FOR DA.	27.06.2017
В	ISSUED FOR DA.	18.08.2017

11.05.2018

Drawn	Checked	Project #	
DR	<b>CZ</b>	P4882	
Acitivity Type  DA	Job # <b>2194-16</b>	Issue <b>C</b>	

#### **DEVELOPMENT DATA:**

O/A SITE AREA 1372.60m<sup>2</sup>

R4 HIGH DESNITY RESIDENTIAL ZONE PERMISSIBLE H MAX 18m PERMISSIBLE FSR 1.2:1

PROPOSED REDSIDENTIAL APARTMENTS WITH 50% GFA AS AFFORDABLE HOUSING AS PER

BONUS FSR 0.5:1

TOTAL PERMISSIBLE FSR 1.7:1

PERMISSIBLE GFA 2333.42m<sup>2</sup>

 PROPOSED GROSS FLOOR AREA GFA

 GROUND LEVEL
 403.70m²

 LEVEL 1
 415.55m²

 LEVEL 2
 419.80m²

 LEVEL 3
 415.55m²

 LEVEL 4
 297.35m²

 LEVEL 5
 293.05m²

 TOTAL GFA
 2245.00m²

PROPOSED FSR 1.63:1

AFFORDABLE MIN GFA 1122.50m<sup>2</sup>

PROPOSED AFFORDABLE UNITS

 LEVEL 2 + LOBBY
 419.80m²

 LEVEL 3 + LOBBY
 415.55m²

 LEVEL 4 + LOBBY
 297.35m²

 TOTAL AFF. AREA
 1137.70m²

**PROPOSED UNITS** 

 1 BED UNITS
 9

 2 BED UNITS
 15

 3 BED UNITS
 4

 TOTAL UNITS
 28

CARPARK REQUIREMENTS

AFFORDABLE HOUSING
0.5 PER 1 BED UNIT 2
1 PER 2 BED UNIT 8
1.5 PER 3 BED UNIT 3

STANDARD HOUSING
1 PER 1 BED UNIT 5
1.5 PER 2 BED UNIT 10.5
2 PER 3 BED UNIT 4
1 VISITORS PER 4 UNITS 3.5
TOTAL REQUIRED 36

CARPARK PROPOSED 32+4

LANDSCAPING REQUIREMENTS

LANDSCAPING AREA MIN
30% site = 411.80m<sup>2</sup>

DEEP SOIL AREA MIN

15% site & 3m min dimension = 205.90m<sup>2</sup>

COMMUNAL OPEN SPACE MIN

25% site =

343.15m<sup>2</sup>

LANDSCAPING PROPOSED

LANDSCAPING AREA 584.00m<sup>2</sup>
DEEP SOIL AREA 394.95m<sup>2</sup>
COMMUNAL OPEN SPACE 390.00m<sup>2</sup>

	UNIT	SCHEDULE		
Floor Level	Unit Number	Unit Type	Measured Area	Floor Level
GROUND FLOOR LEV	ÆL			FLOOR LEVEL 3
	LG.01	3 BED	96.40	AFFORDABLE
	LG.01	P.O.S.	37.00	
			133.40 m <sup>2</sup>	
	LG.02	1 BED	52.36	AFFORDABLE
	LG.02	P.O.S.	20.07	
			72.43 m <sup>2</sup>	
	LG.03	1 BED	64.61	AFFORDABLE
	LG.03	P.O.S.	18.82	
			83.43 m <sup>2</sup>	
	LG.04	2 BED	81.54	AFFORDABLE
	LG.04	P.O.S.	64.60	
			146.14 m <sup>2</sup>	
	LG.05	2 BED	70.19	AFFORDABLE
	LG.05	P.O.S.	24.23	
	20.00	1.10.0.	94.42 m <sup>2</sup>	
FLOOR LEVEL 1			02	FLOOR LEVEL 4
	L1.06	3 BED	96.40	AFFORDABLE
	L1.06	P.O.S.	13.12	7 II I ONDABLE
	21.00	1 .0.0.	109.52 m <sup>2</sup>	
	L1.07	1 BED	52.36	AFFORDABLE
	L1.07	P.O.S.	14.12	AFFORDABLE
	L1.07	1 .0.0.	66.48 m <sup>2</sup>	
	L1.08	2 BED	79.40	AFFORDABLE
	L1.08	P.O.S.	13.77	AFFORDABLE
	L1.00	F.O.3.	93.17 m <sup>2</sup>	
	L1.09	2 BED	81.54	AFFORDARIE
	L1.09	P.O.S.	22.28	AFFORDABLE ADAPTABLE
	L1.09	P.U.S.	103.82 m <sup>2</sup>	/ID/II I/IDEL
	1440	2.000		FLOOD LEVEL 5
	L1.10 L1.10	2 BED	81.45 18.53	FLOOR LEVEL 5
	L1.10	P.O.S.	99.98 m <sup>2</sup>	
FLOOD LEVEL A			99.98 m²	
FLOOR LEVEL 2	L2.11	3 BED	00.40	
AFFORDABLE			96.40	
	L2.11	P.O.S.	13.12	
	1040	4.050	109.52 m <sup>2</sup>	
AFFORDABLE	L2.12	1 BED	52.35	
	L2.12	P.O.S.	14.12	
	10.40	0.050	66.47 m <sup>2</sup>	
AFFORDABLE	L2.13	2 BED	79.40	ADAPTABLE
	L2.13	P.O.S.	13.77	
			93.17 m <sup>2</sup>	
AFFORDABLE	L2.14	2 BED	81.54	
	L2.14	P.O.S.	21.56	
			103.10 m <sup>2</sup>	
AFFORDABLE	L2.15	2 BED	81.45	
	L2.15	P.O.S.	18.53	
			99.98 m <sup>2</sup>	

NOTE: P.O.S. (PRIVATE OPEN SPACE) DENOTES: BALCONIES, TERRACES, COURTYARDS

**UNIT SCHEDULE** 

3 BED

P.O.S.

1 BED

P.O.S.

2 BED

P.O.S.

2 BED

P.O.S.

2 BED

P.O.S.

2 BED

P.O.S.

1 BED

P.O.S.

**Unit Type** 

Measured Area

96.40

13.12 109.52 m<sup>2</sup>

52.36

14.12

79.40

13.77

81.54

21.56

81.45

18.53

82.03

17.99

55.72

8.00

76.04

10.12 **86.16 m**<sup>2</sup>

58.46

17.56

82.03

17.98

55.72

8.00

76.04

10.12

58.46

17.56

76.02 m<sup>2</sup>

2599.11 m<sup>2</sup>

86.16 m<sup>2</sup>

63.72 m<sup>2</sup>

100.01 m<sup>2</sup>

76.02 m<sup>2</sup>

63.72 m<sup>2</sup>

100.02 m<sup>2</sup>

99.98 m<sup>2</sup>

103.10 m<sup>2</sup>

93.17 m<sup>2</sup>

66.48 m<sup>2</sup>

**Unit Number** 

L3.16

L3.16

L3.17

L3.17

L3.18

L3.18

L3.19

L3.19

L3.20

L3.20

L4.21

L4.21

L4.22

L4.22

L4.23

L4.23

L4.24

L4.24

L5.25

L5.25

L5.26

L5.26

L5.27

L5.27

L5.28

L5.28

**UNIT TYPE LEGEND** 

1 BEDROOM 2 BEDROOM 3 BEDROOM



Issue	Description	Date	Drawn	Issuea
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
С	ISSUED FOR DA.	11.05.2018	DR	CZ

INCUS: immensions and floor areas are to be verified by the Builder prior to the coiding work. Any discrepancies are to be brought to the attention of the deles shown are approximate unless accompanied by reduced levels.

(f) All boundary clearances must be verified by the surveyor prior to commencement of any building.
(f) Where engineering drawings are required such must take preference to this drawing.
(s) Stormwater to be discharged to Councilor requirements and AS 3000.3190.
(7) All services to be located and verified by the Builder with relevant authorities before any building.

ork commences.

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ABN 43 064 952 699

Project PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn	Checked	Date
	DR	CZ	JAN. 2017
Client ANDREW HASTIE	Acitivity Type	Job #	Scale @ A3
	DA	2194-16	AS SHOWN
DEVELOPMENT DATATABLES	Project #	Sheet #	lssue
	P4882	A110	<b>C</b>





DULUX
natural white
or similar
Paint finish to concrete
slab parapet and walls

DULUX golden koi or similar Paint finish to Hebel wall

AUSTRAL
limestone or similar
Concrete block to
fence wall

VITRACORE G2 satin brown metallic or similar Composite cladding to Hebel wall

COLORBOND surfmist or similar Horizontal metal slates fence



lightweight concrete panel cladding Lightweight concrete composite panel cladding to Hebel wall

> Date JAN. 2017

Scale @ A3 AS SHOWN

P4882

A601



Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
С	ISSUED FOR DA	11.05.2018	DR	CZ

General Notes:

 All dimensions and floor areas are to be verified by the Builder prior to the commencemen any building work. Any discrepancies are to be brought to the attention of the designer.

any building work. Any discrepancies are to be brought to the attention o 2) Levels shown are approximate unless accompanied by reduced levels

Figured dimensions must be taken in preference to scaling.

Where engineering drawings are required such must take preference to this drawing.
 Stormwater to be discharged to Councils' requirements and AS 3500.3-1990.

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ABN 43 064 952 (

Project		
PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn DR	Che CZ
Client ANDREW HASTIE	Acitivity Type DA	Job 21

3D VIEWS, MATERIALS & FINISH SCHEDULE

future building





DULUX natural white or similar Paint finish to concrete slab parapet and walls

DULUX golden koi or similar Paint finish to Hebel wall

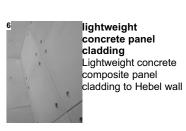
AUSTRAL limestone or similar Concrete block to fence wall

VITRACORE G2 satin brown metallic or similar Composite cladding to Hebel wall

COLORBOND surfmist or similar Horizontal metal slates fence









19-21 Harvey Ave

0002739770 Thomas Ruck VIC/BDAV/12/1456 14 May 2018

Date JAN. 2017

Scale @ A3 AS SHOWN

C

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA	11 05 2018	DR	CZ

**SOUTH EAST** 



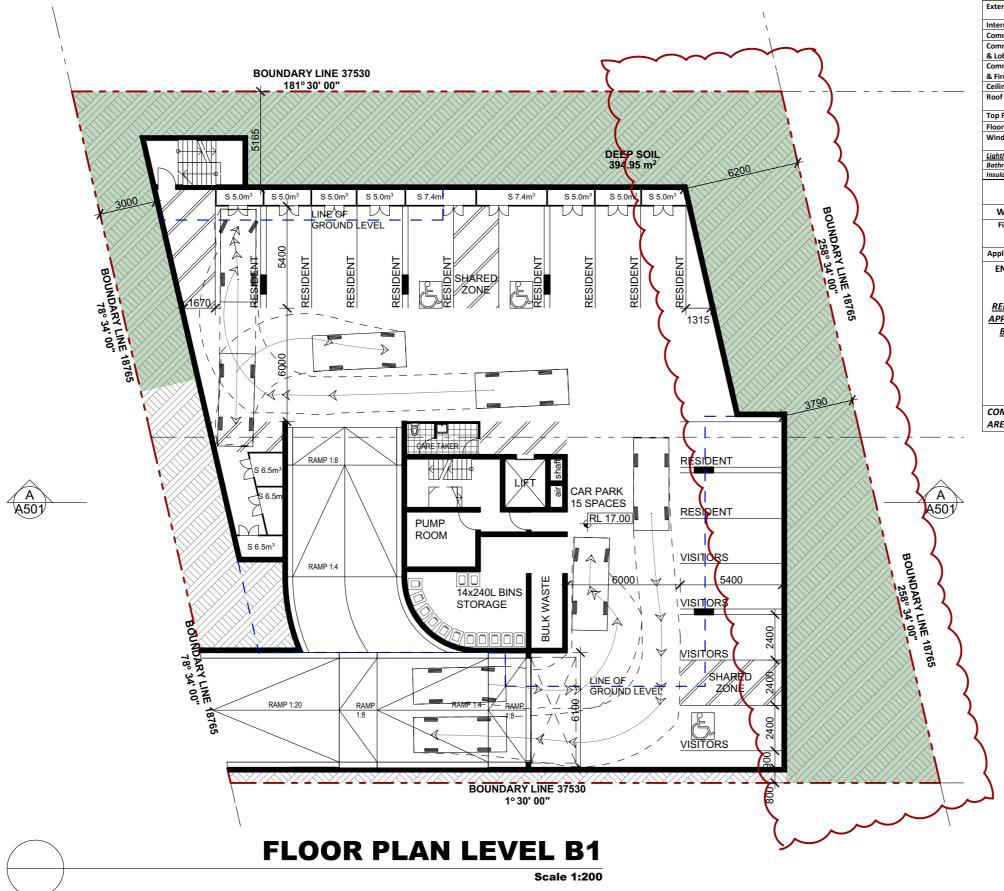
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PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK

Checked CZ ANDREW HASTIE 3D VIEWS, MATERIALS & FINISH SCHEDULE P4882 A601



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	\\/\\\\/\\\\/\\\\\\\\\\\\\\\\\\\\\\\\\	
		op Floors Vindo
	394.95 m <sup>2</sup> 6200	ightin athro nsulat
3000 S 5.0m <sup>3</sup> S 5.0m <sup>3</sup> S 5.0m <sup>3</sup> S 5.0m <sup>3</sup> S 7.4m	S 7.4m <sup>3</sup> S 5.0m <sup>3</sup> S 5.0m <sup>3</sup> S 5.0m <sup>3</sup>	
LINE OF GROUND LEVEL	THE PROPERTY OF THE PROPERTY O	W
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Adunos Adunos	RESIDENT RES	DEE
BOUNDARY LINE 18765  RESIDENT  RESID	RESIDENT THE 18762	REF APPI BA
4. 00 E		<u>B</u>
1876		
8		
	3790	сом
		AREA
ARE TAMER		
S 6.5m <sup>3</sup> RAMP 1:8	RESIDENT	
A A 501		
PUMP ROOM	RL 17.00	
S 6.5m³	VISITORS	
RAMP 1:4	<b>■ ■ ■ 6</b> 0001 <b>→ ★ 1</b> 5400	
14x240L STORAG	BINS GE VISITIORS VISITIONS VISITION	
	SE N Y WISH ORD	
	2400 Bull Ball Ball Ball Ball Ball Ball Ball	
78 8	MISITORS 7	
34.	/    \ /    YINE OF /   . //STIANTED //O	
RAMP 1:20  RAMP 1:20	GROUND LEVEL TONE TO	
RAMP 1.20 RAMP 1.4°	77.89	
5	VISITORS	
BOUI	NDARY LINE 37530	١
	1° 30' 00"	•
FLOOR PLAN LE	VEL B1	
	Scale 1:200	

Building Elements			Material		Detail	
External walls		75mm H	ebel + Stud + Insulation + pard	R1.5 Bulk Insulation		
Internal walls within units		Plasterb	oard on studs	-		
Common walls b	etween Units	Hebel + S	Stud + Plasterboard	-		
Common walls b	etween Units	Hebel + 9	Stud + Plasterboard	-		
& Lobby						
Common walls b	etween Units		m Concrete+ Furring Channel + R1.5 Bulk Insulation			
& Fire Stairs/lift	Shaft		n + Plasterboard			
Ceilings		Plasterb		-		
Roof – Units 3.1	8 & 3.19		- insulation to concrete	R1.0	Bulk Insulation	
Top Floor Roof		Concrete	to external environment	D2 I	5 Bulk Insulation	
		Concrete		NZ.	5 Bulk Ilisulation	
Floors Windows			: ım framed, single glazed	-	alue 6.70 or less and a SI	160 of 0.70 u / 100/
windows			liding Windows / Doors	0 0	aiue 0./0 UI 1855 ailū a St	IGC 01 0.70 T/- 10%
<u>Lighting</u> : These U	nits must use nor		d LED downlights as per Indivi	dual	NatHERS Certificates if p	roposed
Bathroom / Ensui	te / Laundry exh	aust fans t	o have self-closing dampers		, ,,	•
Insulation should	be installed with	due consi	deration of condensation & as	socia	ted interaction with adj	oining building materials
		BAS	SIX COMMITMEN	ITS	NOTES	
		* TO	BE READ IN CONJUNCTION WITH	APPI	ROVED BASIX REPORT*	
WATER						
Fixtures	All Shower He	eads	All toilet flushing system	s	All kitchen taps	All bathroom taps
	3 star(>6 but<=7	.5L/min) 4 star			5 star	6 star
Appliances:	Dishwashers	4.5 star	water rating		I	II.
ENERGY	Hot water sys	tem: Cen	tral Gas Instantaneous – R	efer to approved BASIX		
	Bathroom ver	ntilation	system: Individual fan, duc	ted to façade or roof manual switch on/off		
	Kitchen ventil	ation sys	tem: Individual fan, ducte	d to f	açade or roof manua	switch on/off
REFER TO APPROVED	Laundry vent	ilation sy	stem: Individual fan, ducte	d to	façade or roof manua	I switch on/off
BASIX	Cooling system: air-conditioning 1 Phase – EER 2.5 – 3.0 – Refer to BASIX					
	Heating system: air-conditioning 1Phase – EER 2.5 – 3.0 – Refer to BASIX					
	Artificial lighting: As per BASIX					
	Natural lighting: As per BASIX					
	Appliances:	J . F -				
	Gas cooktop & electric oven Dishwashers: 2.5 star energy rating					
COMMON	Refer to appr					

Project Address: 19-21 Harvey Ave, Moorebank NSW 2170



Issue Description Date	Digeen	Issued
A ISSUED FOR DA. 27.06.2017	7 DR	CZ
B ISSUED FOR DA. 18.08.2017	7 DR	CZ
C ISSUED FOR DA. 11.05.2018	B DR	CZ

General Notes:

1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.

2) Levels shown are approximate unless accompanied by reduced levels.

3) Figured dimensions must be taken in preference to scaling.

4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.

5) Where engineering drawings are required such must take preference to this drawing.

6) Stormwater to be discharged to Councils' requirements and AS 3500.3-1990.

7) All services be located and verified by the Builder with relevant authorities before any building work commences.

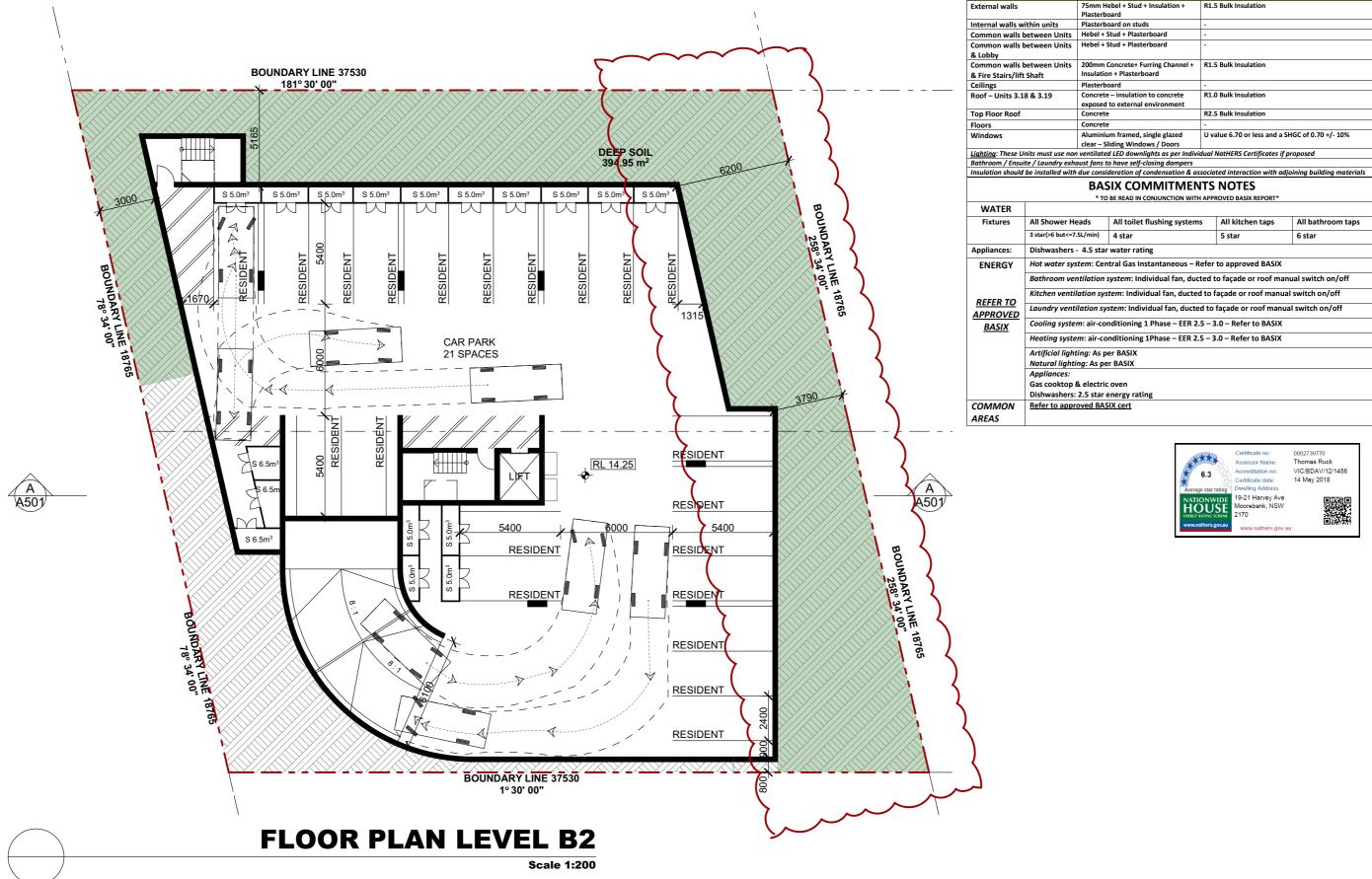


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Project PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn	Checked	Date
	DR	CZ	JAN. 2017
Client	Acitivity Type DA	Job #	Scale @ A3
ANDREW HASTIE		2194-16	AS SHOWN
Title FLOOR PLAN	Project # P4882	Sheet # A202	lssue <b>C</b>



	DEBASOIL	Top Flo Floors Windo
3000 S 5.0m <sup>3</sup>	\$5.0m <sup>3</sup>	Insulation WA
	RESIDENT THE SIDENT TH	Applia ENE
Nadisan Nadisan Nadisan National Nation	CAR PARK 21 SPACES	REFE APPR BA
765	3790	COMI
	6.5m <sup>3</sup> 80 S B B B RESIDENT RESIDENT A SOLUTION A SOLUT	
A501 se	5400	
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BOUND ART INE 1	RESIDENT	
- 18765	RESIDENT 000	)
	BOUNDARY LINE 37530 1° 30' 00"	لر
	FLOOR PLAN LEVEL B2  Scale 1:200	

ssue	Description	Date	Drawn	Issued
4	ISSUED FOR DA.	27.06.2017	DR	CZ
3	ISSUED FOR DA.	18.08.2017	DR	CZ
3	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:

All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.

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Project PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn	Checked	Date
	DR	CZ	JAN. 2017
Client	Acitivity Type DA	Job #	Scale @ A3
ANDREW HASTIE		2194-16	AS SHOWN
Title FLOOR PLAN	Project # P4882	Sheet # A201	Issue C

Project Address: 19-21 Harvey Ave, Moorebank NSW 2170

Plasterboard

Plasterboard

Concrete Concrete

3 star(>6 but<=7.5L/min) 4 star

Artificial lighting: As per BASIX Natural lighting: As per BASIX

Gas cooktop & electric oven Dishwashers: 2.5 star energy rating Refer to approved BASIX cert

Appliances:

Dishwashers - 4.5 star water rating

Material

75mm Hebel + Stud + Insulation +

Concrete – insulation to concrete exposed to external environment

Aluminium framed, single glazed clear – Sliding Windows / Doors

**BASIX COMMITMENTS NOTES** \* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT

Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off

Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off

Hot water system: Central Gas Instantaneous – Refer to approved BASIX

Cooling system: air-conditioning 1 Phase – EER 2.5 – 3.0 – Refer to BASIX

Heating system: air-conditioning 1Phase – EER 2.5 – 3.0 – Refer to BASIX

Detail

U value 6.70 or less and a SHGC of 0.70 +/- 10%

All bathroom taps

0002739770 Thomas Ruck

VIC/BDAV/12/1456 14 May 2018

Assessor Name

Moorebank, NSW 2170

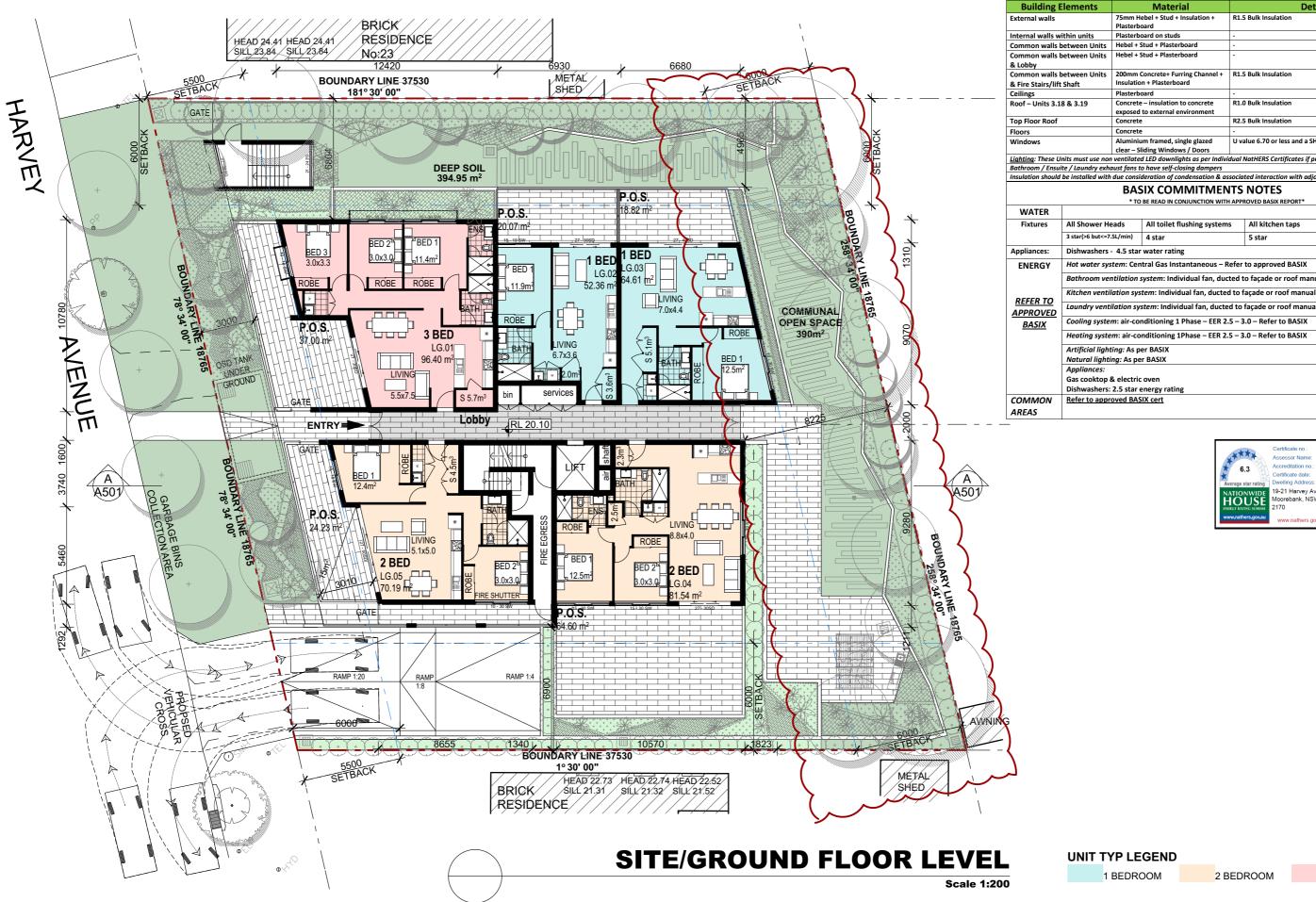
6.3

HOUSE HOUSE

R1.5 Bulk Insulation

5 star

Building Elements



PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK JAN 2017 Scale @ A3 AS SHOWN ANDREW HASTIE FLOOR PLAN A203 С P4882

2 BEDROOM

**UNIT TYP LEGEND** 1 BEDROOM

Project Address: 19-21 Harvey Ave, Moorebank NSW 2170

Material

200mm Concrete+ Furring Channel + Insulation + Plasterboard

exposed to external environment

Aluminium framed, single glazed

**BASIX COMMITMENTS NOTES** 

Hot water system: Central Gas Instantaneous – Refer to approved BASIX

ng system: air-conditioning 1 Phase – EER 2.5 – 3.0 – Refer to BASIX

ating system: air-conditioning 1Phase – EER 2.5 – 3.0 – Refer to BASIX

clear - Sliding Windows / Doors

3 star(>6 but<=7.5L/min) 4 star

Artificial lighting: As per BASIX

Natural lighting: As per BASIX

Gas cooktop & electric oven Dishwashers: 2.5 star energy rating Refer to approved BASIX cert

Dishwashers - 4.5 star water rating

Detail

U value 6.70 or less and a SHGC of 0.70 +/- 10%

All bathroom taps

0002739770 Thomas Ruck VIC/BDAV/12/1456 14 May 2018

R1.5 Bulk Insulation

R1.5 Bulk Insulation

5 star

n ventilation system: Individual fan, ducted to façade or roof manual switch on/of

entilation system: Individual fan, ducted to façade or roof manual switch on/off

ion system: Individual fan, ducted to façade or roof manual switch on/off

6.3

HOUSE

Moorebank, NSW 1170

ALGORRY ZAPPIA & ASSOCIATES PTV. LTD

ISSUED FOR DA.

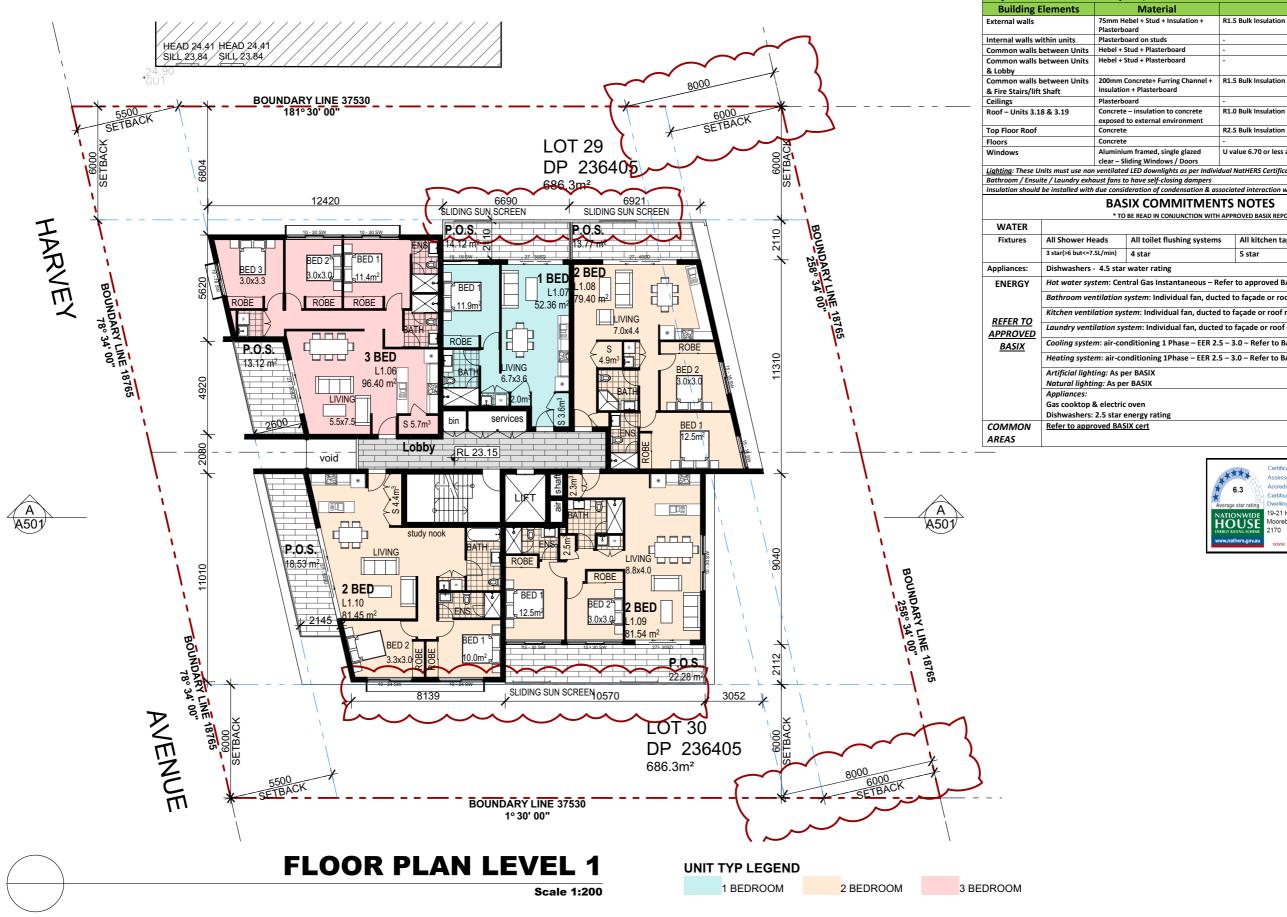
ISSUED FOR DA.

18.08.2017 DR

11.05.2018 DR

CZ

ARCHITECTURE+INTERIORS+GRAPHICS	
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, GUI	8000		Į.	& Fire Stairs/lift Shaft	Insulation + Plasterboard R1.5 Bulk Insulation
BOUNDARY LINE 37530			· <del>)</del> — — —	Ceilings	Plasterboard - Concrete – insulation to concrete R1.0 Bulk Insulation
5500 T81° 30' 00"	( )	6000 TBACK		Roof – Units 3.18 & 3.19	exposed to external environment
SEL SEL	* S			Top Floor Roof	Concrete R2.5 Bulk Insulation
, S	LOT 29 (			Floors Windows	Concrete - Aluminium framed, single glazed U value 6.70 or less and a SHGC of 0.70 +/- 10%
8600 SETBACK	DP 236405	6000 SETBACE			clear – Sliding Windows / Doors on ventilated LED downlights as per Individual NatHERS Certificates if proposed
	686.3m²	9 E			haust fans to have self-closing dampers
12420		ا ۱		Insulation should be installed wit	th due consideration of condensation & associated interaction with adjoining building materials
\$LIDING SLIN SCRE	EN SLIDING SUN SCREEN	\ \ \			BASIX COMMITMENTS NOTES  * TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*
	P.O.S.		13	WATER	TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORTS
10-30 SW 10-30 SW 10-30 SW		2110	Ŏ.	Fixtures All Shower H	Heads All toilet flushing systems All kitchen taps All bathroom taps
BED 2 BED 1	27 30SD 27, 40SD	7 7	BOUNDARY LINE 18765	3 star(>6 but<=	7.5L/min) 4 star 5 star 6 star
BED 3 3.0x3.0 -11 4m²	2 BED	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \		Appliances: Dishwashers	- 4.5 star water rating
3.0x3.3 BED 1	1 BEU 108	\   ''	**************************************	ENERGY Hot water sy	stem: Central Gas Instantaneous – Refer to approved BASIX
ROBE ROBE ROBE	52.36 m <sup>2</sup> 79.40 m <sup>2</sup>			Bathroom ve	entilation system: Individual fan, ducted to façade or roof manual switch on/off
7 3	LIVING	\ \	18	Kitchen vent	tilation system: Individual fan, ducted to façade or roof manual switch on/off
8 A	7.0x4.4 *		16.	APPROVED Laundry ven	tilation system: Individual fan, ducted to façade or roof manual switch on/off
P.O.S.	S ROBE		10,	BASIX Cooling syst	em: air-conditioning 1 Phase – EER 2.5 – 3.0 – Refer to BASIX
	4.9m³	11310	· ·		em: air-conditioning 1Phase – EER 2.5 – 3.0 – Refer to BASIX
L1.06 BATH 6.7)	NG BED 2	113	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \		nting: As per BASIX
96.40 m <sup>2</sup>	3.0x3.0	18	\	Natural ligh Appliances:	ting: As per BASIX
OI LIVING	.0m3 / E		`	Gas cooktop	& electric oven
5.5x7.5 S 5.7m <sup>3</sup> bin service	es es BED 1		i i		s: 2.5 star energy rating proved BASIX cert
+ OSAM	NS 12.5m <sup>2</sup>		1	COMMON Refer to app	NOVEG DASIA CELL
		<u> </u>			
void	* "		\		Certificate no.: 0002739770
	* * *	\ \	`		Assessor Name: Thomas Ruck  6.3 Accreditation no.: VIC/BDAV/12/1456
\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\		\	i A		Average star rating  Output  Discretely a star rating by the star part of
A \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	BATH	1	A		The state of the s
A501 study nook		\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	A501		NATIONWIDE HOUSE LINEAR HUNG SCHOOL AND WARREN TO AND
			N.		www.nathers.gov.au www.nathers.gov.au
LIVING	ROBE LIVING LIVING	/ / / 0040	N.		
	ROBE 8.8x4.0	1 10	\ <u>B</u>		
Z BED 2 BED	BED 1	\ \	BOUNDARY LINE 1		
\ \\L1.10 \\	BED 2 <sup>th</sup> 2 RED	\	, 25 D		
2145 81.45 m <sup>2</sup>	3.0x3.0 L1.09	1	18° 78		
BED 1 BED 1	81.54 m <sup>2</sup>	\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	18 <u>5</u>		
3 3 3 3 0 0 0 0 10.0m <sup>2</sup>	h5 - 30 SW 15 L 30 SW 27 L 30 SD		iệ tí		
3.3x3.0 0 0 10.001	P.O.S.	7 2112	١ 8		
8 R	22,28 m <sup>2</sup>				
8139 JS	LIDING SUN SCREEN 0570	3052	· ·		
	لہ مسمم	1   \	i -		
BED 1 3.3.3.3.0 BED 1 10.0m <sup>2</sup> 3.3.3.0 BED 1 10.0m <sup>2</sup> 3.3.3.0 BED 1 10.0m <sup>2</sup> 3.3.3.0 BED 1 10.0m <sup>2</sup> 3.3.3.3.0 BED 1 10.0m <sup>2</sup> 3.3.3.0 BED 1 10.0m <sup>2</sup> 3.3.0 BED 1 10.	LOT 30	, S	_		
	DP 236	405 OF 1			
		+00	~ * \		
Z 1	686.3m²		8000		
SETBACK STRACK		1	SETBACK		
BOUNDA	RY LINE 37530		<del>*</del> - <del></del>		
10	30' 00"	} .			
			\		
FLOOR PLAN LE	VEL 1 UNIT	TYP LEGEND			
	Scale 1:200	1 BEDROOM	2 BEDROOM 3 BE	DROOM	
	Scale 1.200				

Issue	Description	Date	Drawn	Issued
Α	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:

1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.

2) Levels shown are approximate unless accompanied by reduced levels.

3) Figured dimensions must be taken in preference to scaling.

4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.

5) Where engineering drawings are required such must lake preference to this drawing.

6) Stormwater to be discharged to Councils' requirements and AS \$500.3-1990.

7) All services be located and verified by the Builder with relevant authorities before any building work commences.





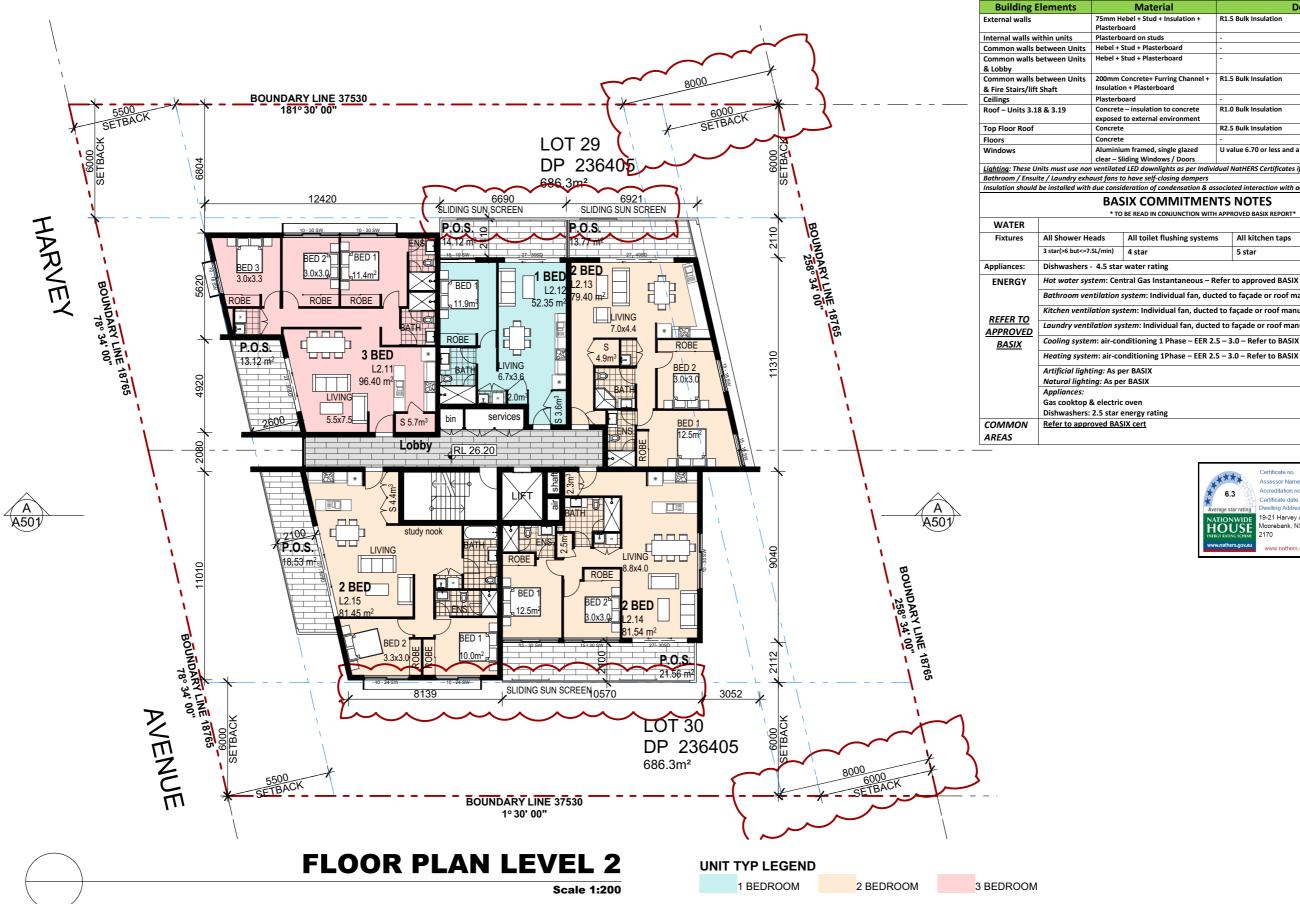
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e admin@algorryzappia.com.au  w www.algorryzappia.com.au ABN 43 064 952 692						

Project PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn	Checked	Date
	DR	CZ	JAN. 2017
ANDREW HASTIE	Acitivity Type	Job #	Scale @ A3
	DA	2194-16	AS SHOWN
Title	Project #	Sheet #	Issue
FLOOR PLAN	P4882	A204	<b>B</b>

Project Address: 19-21 Harvey Ave, Moorebank NSW 2170

Detail



Project Address: 19-21 Harvey Ave, Moorebank NSW 2170

Concrete

Plasterboard on studs

Material

200mm Concrete+ Furring Channel + Insulation + Plasterboard

exposed to external environment

Aluminium framed, single glazed

**BASIX COMMITMENTS NOTES** 

\* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPO

clear - Sliding Windows / Doors

Detail

U value 6.70 or less and a SHGC of 0.70 +/- 10%

All bathroom taps

0002739770 Thomas Ruck VIC/BDAV/12/1456 14 May 2018

R1.5 Bulk Insulation

R1.5 Bulk Insulation

5 star

entilation system: Individual fan, ducted to façade or roof manual switch on/off

tion system: Individual fan, ducted to façade or roof manual switch on/off

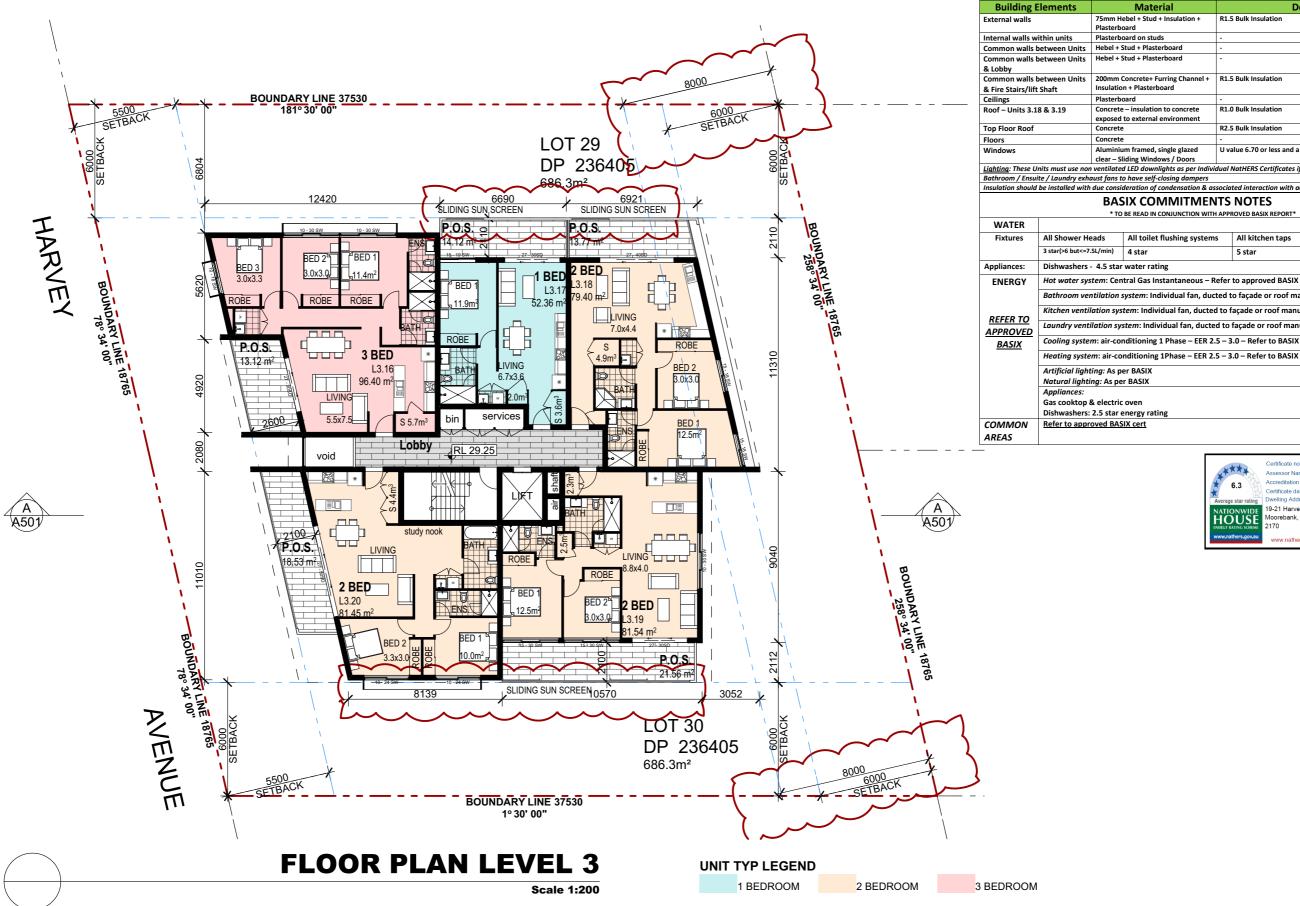
6.3

HOUSE

19-21 Harvey Ave Moorebank, NSW 2170

system: Individual fan, ducted to façade or roof manual switch on/off

	FLOOR PL	Scale 1:200	1 BEDROOM 2 BEDROOM	3 BEDROOM			
Issue         Description         Date         Drawn         Issued           A         ISSUED FOR DA.         27.06.2017         DR         CZ           B         ISSUED FOR DA.         11.05.2018         DR         CZ	General Notes:  1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.  2) Levels shown are approximate unless accompanied by reduced levels.  3) Figure dimensions must be taken in preference to scaling.  4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.  5) Where engineering drawings are required each must take preference to this drawing.  6) Stornwater to be discharged to Councils requirements and AS 3500.3-1990.  7) All services to be located and verified by the Builder with relevant authorities before any building work commences.  COPYRIGHT:  This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.	Consultants  VILLA+VILLA  ARCHITECTURE+INTERIORS+GRAPHICS  LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000 P: 61 2 9247 7667 ABN: 27 085 744 958  www.villicandvilla.com.cu  © COPYRIGHT VILLA AND VILLA PTY LTD 2017	ALGORRY ZAPPIA & ASSOCIATES  Building Designers & Consulting Civil & Structural Engineers  a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170  P.O. Box 885, Liverpool Business Centre, NSW 1871  1 9002 3133 /9602 03033 f 9601 6903  e admin@ilgonyzappia.com.au  w www.algonyzappia.com.au  ABN 43 064 952 692	Project PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK  Glient ANDREW HASTIE  Title FLOOR PLAN	Drawn DR  Activity Type DA  Project # P4882	Checked CZ  Job # 2194-16  Sheet # A205	Date JAN. 2017  Scale @ A3 AS SHOWN



Project Address: 19-21 Harvey Ave, Moorebank NSW 2170

Concrete

Plasterboard on studs

Material

200mm Concrete+ Furring Channel + Insulation + Plasterboard

exposed to external environment

Aluminium framed, single glazed

**BASIX COMMITMENTS NOTES** 

\* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REP

clear - Sliding Windows / Doors

Detail

U value 6.70 or less and a SHGC of 0.70 +/- 10%

Accreditation no.

19-21 Harvey Ave Moorebank, NSW

All bathroom taps

VIC/BDAV/12/1456

14 May 2018

R1.5 Bulk Insulation

R1.5 Bulk Insulation

5 star

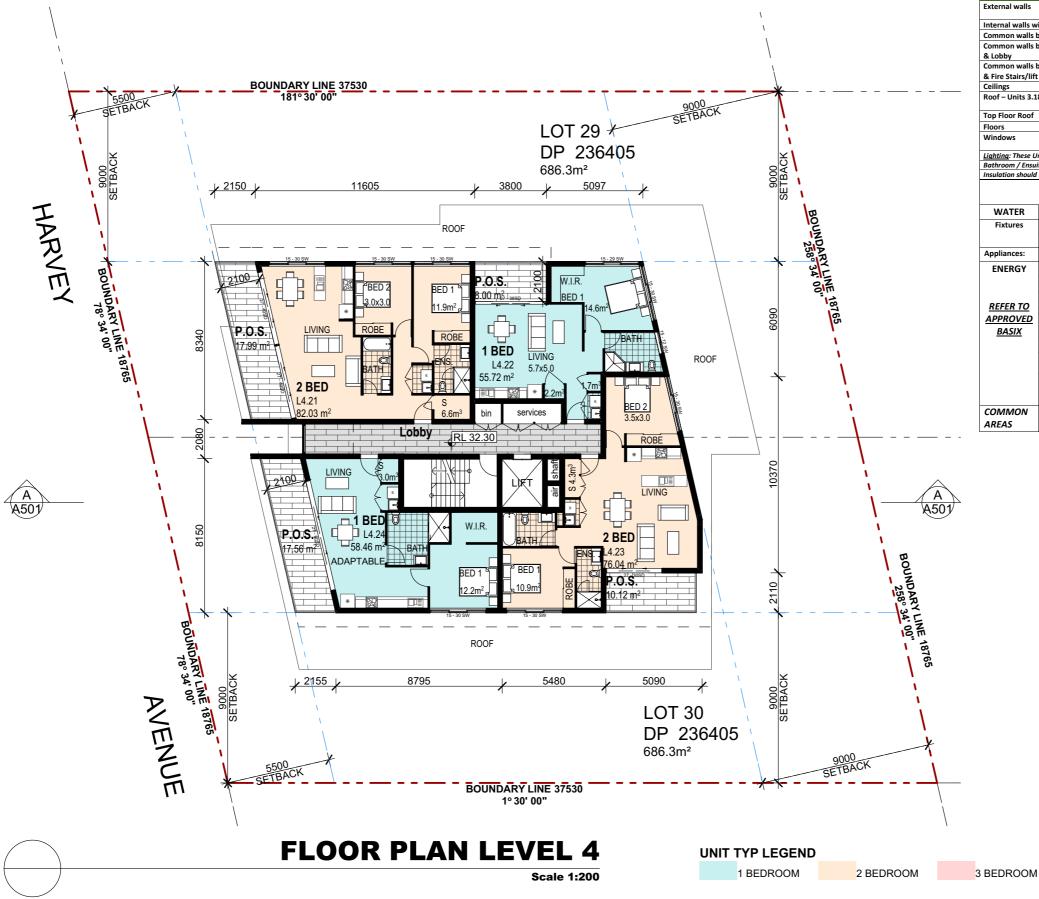
ntilation system: Individual fan, ducted to façade or roof manual switch on/off

system: Individual fan, ducted to façade or roof manual switch on/off

6.3

on system: Individual fan, ducted to façade or roof manual switch on/off

	FLOOR PLAI	N LEVEL 3	UNIT TYP LEGEND				
		Scale 1:200	1 BEDROOM 2 BEDROOM	3 BEDROOM			
Issue         Description         Date         Drawn         Issued           A         ISSUED FOR DA.         27.06.2017         DR         CZ           B         ISSUED FOR DA.         11.05.2018         DR         CZ	General Notes:  1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.  2) Levels shown are approximate unless accompanied by reduced levels.  3) Figured dimensions must be taken in preference to scalling.  4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.  5) Where engineering drawings are required work unsur take preference to this drawing.  6) Stormwater to be discharged to Councilir requirements and AS 3500.3-1900.  7) All services to be located and verified by the Builder with relevant authorities before any building work commences.  COPYRIGHT:  This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.	Consultants  VILLA + VILLA  ARCHITECTURE-INTERIORS-GRAPHICS  LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000 P: 61 2 9247 7667 ABN: 27 085 744 958 www.villaandvilla.com.au  © COPYRIGHT VILLA AND VILLA PTY LTD 2017	ALGORRY ZAPPIA & ASSOCIATES  Building Designers & Consulting Civil & Structural Engineers  a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 9170  P.O. Box 865, Liverpool Business Centre, NSW 1871  9 600 23133 /9602 0303 f 9601 6903  e admin@wigomyzappia.com.au  w www.alsgomyzappia.com.au  ABN 43 064 952 692	Project PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK Client ANDREW HASTIE Title FLOOR PLAN	Drawn DR  Activity Type DA  Project # P4882	Checked CZ Job # 2194-16 Sheet # A206	Date JAN. 2017 Scale @ A3 AS SHOWN



Building E	lements		Material		Det	tail
xternal walls		75mm He Plasterbe	ebel + Stud + Insulation + pard	R1.5	Bulk Insulation	
nternal walls w	ithin units		oard on studs	-		
ommon walls l			Stud + Plasterboard	-		
Lobby	between Units		Stud + Plasterboard	-		
ommon walls l Fire Stairs/lift	etween Units Shaft		Concrete+ Furring Channel + n + Plasterboard	R1.5	Bulk Insulation	
eilings		Plasterbo		-		
oof – Units 3.1	8 & 3.19		e – insulation to concrete to external environment		Bulk Insulation	
op Floor Roof		Concrete		R2.5	Bulk Insulation	
loors		Concrete		-		
/indows		clear – SI	ım framed, single glazed liding Windows / Doors		alue 6.70 or less and a Sh	
			d LED downlights as per Indivi	dual I	NatHERS Certificates if p	roposed
			o have self-closing dampers deration of condensation & as	socia	ted interaction with adia	oinina huildina material
isaration snound	be instance with					oming bunding material
			BIX COMMITMEN  BE READ IN CONJUNCTION WITH			
WATER						
Fixtures	All Shower He		All toilet flushing system	s	All kitchen taps	All bathroom taps
	3 star(>6 but<=7.	5L/min)	4 star		5 star	6 star
ppliances:	Dishwashers -	4.5 star	water rating			
ENERGY	Hot water sys	tem: Cen	tral Gas Instantaneous – R	efer	to approved BASIX	
	Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off					
	Kitchen ventil	ation sys	tem: Individual fan, ducte	to f	açade or roof manua	l switch on/off
REFER TO APPROVED	Laundry venti	lation sys	stem: Individual fan, ducte	d to	façade or roof manua	al switch on/off
BASIX	Cooling system	n: air-cor	nditioning 1 Phase – EER 2.	.5 – 3	.0 – Refer to BASIX	
	Heating syste	m: air-co	nditioning 1Phase – EER 2.	5 – 3	.0 – Refer to BASIX	
	Artificial light					
	Natural lighti	ng: As pe	r BASIX			
	Appliances:					
	Gas cooktop 8					
	Dishwashers:		<u> </u>			
COMMON AREAS	Refer to appr	oved BAS	IX cert			



Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	11.05.2018	DR	CZ

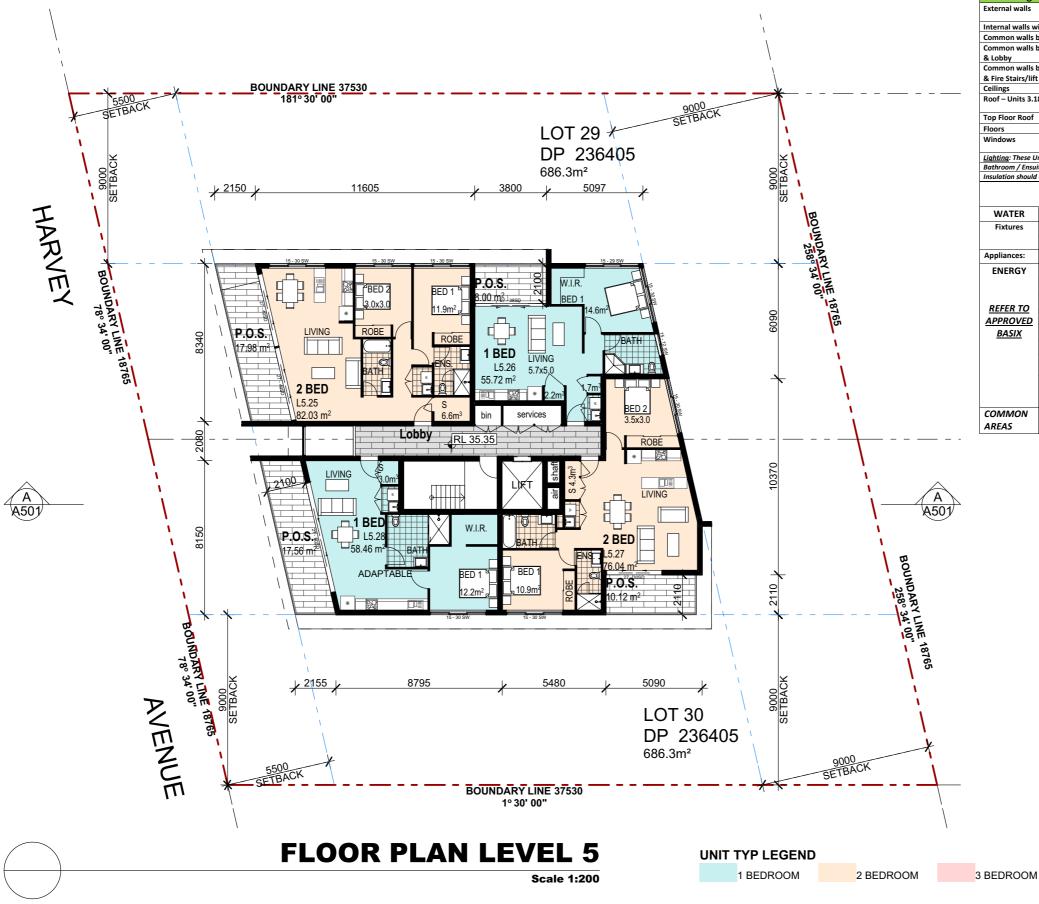


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Project PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn	Checked	Date
	DR	CZ	JAN. 2017
ANDREW HASTIE	Acitivity Type	Job #	Scale @ A3
	DA	2194-16	AS SHOWN
FLOOR PLAN	Project #	Sheet #	Issue
	P4882	A207	<b>B</b>



Project Addr	ress: 19-21 H	Harvey	Ave, Moorebank NS	W 2	170	
Building E	lements		Material	Detail		
External walls		75mm H	ebel + Stud + Insulation + oard	R1.5	Bulk Insulation	
nternal walls wi	ithin units	Plasterb	oard on studs	-		
Common walls b	etween Units	Hebel + 9	Stud + Plasterboard	-		
Common walls b	etween Units	Hebel + S	Stud + Plasterboard	-		
& Lobby						
Common walls b			Concrete+ Furring Channel +	R1.5	Bulk Insulation	
& Fire Stairs/lift	Shaft		n + Plasterboard			
Ceilings		Plasterb		-		
Roof – Units 3.18	8 & 3.19		e – insulation to concrete to external environment	R1.0	Bulk Insulation	
Top Floor Roof		Concrete		R2 5	Bulk Insulation	
Floors		Concrete		-	Daik institution	
Vindows			ım framed, single glazed	Hvs	lue 6.70 or less and a SH	GC of 0.70 ±/- 10%
Williaows			liding Windows / Doors	0 00	nuc 0.70 or icas unu u sir	GC 01 0.70 17 - 1070
<u>lighting</u> : These Ur	nits must use non		d LED downlights as per Indivi	dual I	NatHERS Certificates if pr	oposed
Bathroom / Ensuit	te / Laundry exha	aust fans t	o have self-closing dampers		-	
nsulation should	be installed with	due consi	deration of condensation & as	socia	ted interaction with adjo	ining building materials
			SIX COMMITMEN  BE READ IN CONJUNCTION WITH	_		
WATER						
Fixtures	All Shower He	eads	All toilet flushing system	s	All kitchen taps	All bathroom taps
	3 star(>6 but<=7.	5L/min)	4 star		5 star	6 star
Appliances:	Dishwashers -	4.5 star	water rating			
ENERGY	Hot water sys	tem: Cen	tral Gas Instantaneous – R	efer	to approved BASIX	
	Bathroom ver	ntilation	system: Individual fan, duc	ted t	o façade or roof manı	ial switch on/off
REFER TO	Kitchen ventil	ation sys	tem: Individual fan, ducted	l to f	açade or roof manual	switch on/off
APPROVED	Laundry venti	lation sy	stem: Individual fan, ducte	d to	façade or roof manua	switch on/off
BASIX	Cooling system	m: air-coi	nditioning 1 Phase – EER 2.	5 – 3	.0 – Refer to BASIX	
	Heating syste	m: air-co	nditioning 1Phase – EER 2.	5 – 3	.0 – Refer to BASIX	
	Artificial light	ing: As p	er BASIX			-
	Natural lighti	ng: As pe	r BASIX			
	Appliances:					
	Gas cooktop 8	& electric	oven			
	Dishwashers:	2.5 star 6	energy rating			
соммон	Refer to appro	oved BAS	SIX cert			



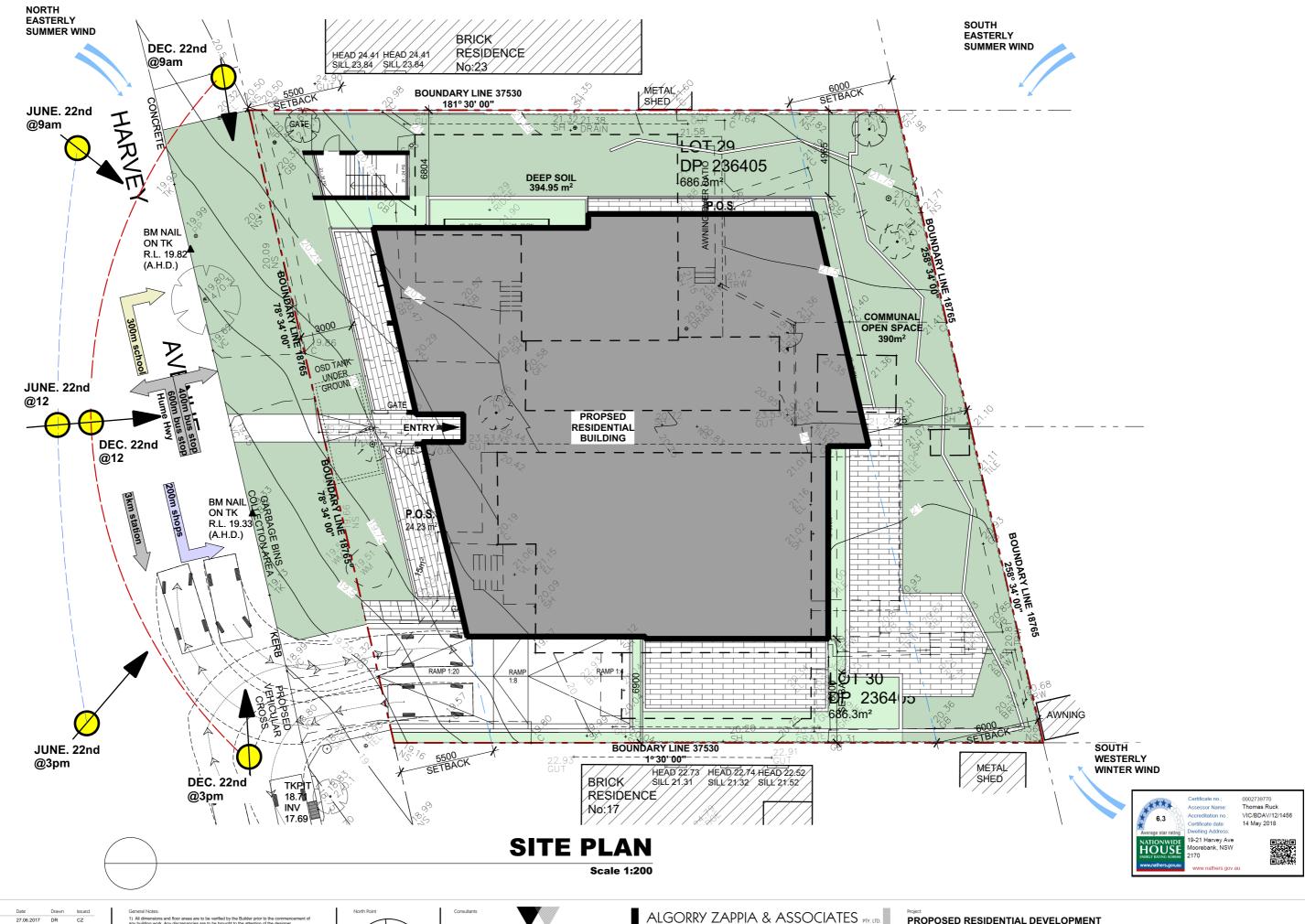
Issue	Description	Date	Drawn	Issued
Α	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	11.05.2018	DR	CZ

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a Suite 4, Lovel 1, 84 Bathurst Street, Liverpool, NSW 9170 P.O. Box 895, Liverpool Business Centre, NSW 1871 t 9609 3133 / 9609 0303 f 9601 6903	

Project PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn	Checked	Date
	DR	CZ	JAN. 2017
ANDREW HASTIE	Acitivity Type	Job #	Scale @ A3
	DA	2194-16	AS SHOWN
Title	Project #	Sheet #	Issue
FLOOR PLAN	P4882	A208	<b>B</b>



18.08.2017 DR CZ ISSUED FOR DA. ISSUED FOR DA. 11.05.2018 DR

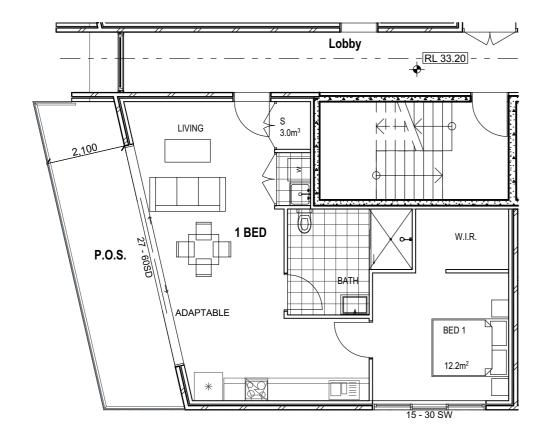


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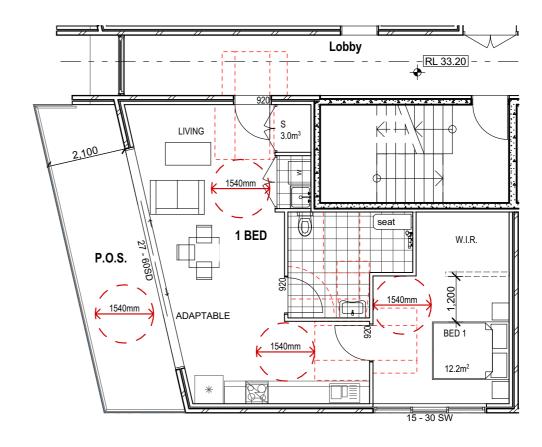
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Building Designers & Consulting Civil & Structural Engineers

Project			
PROPOSED RESIDENTIAL DEVELOPMENT	Drawn	Checked	Date
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue	DR	CZ.	JAN. 2017
MOOREBANK	DK	CZ	JAN. 2017
Client	Acitivity Type	Job #	Scale @ A3
ANDREW HASTIE	DA	2194-16	AS SHOWN
Title	Project #	Sheet #	Issue
SITE ANALYSIS	P4882	A109	С









Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ



#### villa ⊕ villa

Level 4, 24 Hickson Rd .Millers PoinNSW 20 00 T: 02 9247 7667F: 02 9 247 7665 E: eduardo@villaandvilla.com.au Abn: 27 085 744 958

Director / Qualified Architect. (NSW Registration Board) Reg. No 6813

#### ALGORRY ZAPPIA & ASSOCIATES PTV. LTD. Building Designers & Consulting Civil & Structural Engineers

n.au		
	ARN 4	3

ADAPTABLE UNITS LAYOUT

PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn DR	Check CZ
Glent	Acitivity Type	Job #
ANDREW HASTIE	DA	2194

P4882

A301

Date JAN. 2017



DULUX
natural white
or similar
Paint finish to concrete
slab parapet and walls

DULUX golden koi or similar Paint finish to Hebel wall

AUSTRAL limestone or similar Concrete block to fence wall

VITRACORE G2 satin brown metallic or similar Composite cladding to Hebel wall

COLORBOND surfmist or similar Horizontal metal slates fence

lightweight
concrete panel
cladding
Lightweight concrete
composite panel
cladding to Hebel wall





# NORTH ELEVATION

Scale 1:200



# EAST ELEVATION Scale 1:200

Issue	Description	Date	Drawn	Issued
Α	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
С	ISSUED FOR DA.	11.05.2018	DR	CZ

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3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3003.1990.
7) All services to be located and verified by the Builder with relevant authorities before any building verified by the Builder with relevant authorities before any building



VILLA + VILLA

ARCHITECTURE+INTERIORS+GRAPHICS

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www.algoryzappia.com.au
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	admin@algorryzappia.com.au	ABN 43 064 050 600		

PROPOSED RESIDENTIAL DEVELOPMENT OT. 29-30 - DP236405 - N.19-21 Harvey Avenue IOOREBANK	Drawn	Checked	Date
	DR	CZ	JAN. 2017
ent	Acitivity Type	Job #	Scale @ A3
NDREW HASTIE	DA	2194-16	AS SHOWN
ELEVATIONS	Project # P4882	Sheet # A401	lssue <b>C</b>



DULUX natural white or similar Paint finish to concrete slab parapet and walls

DULUX golden koi or similar Paint finish to Hebel wall

AUSTRAL limestone or similar Concrete block to fence wall

VITRACORE G2 satin brown metallic or similar Composite cladding to Hebel wall

COLORBOND surfmist or similar Horizontal metal slates fence

lightweight concrete panel cladding Lightweight concrete composite panel cladding to Hebel wall



A402

P4882

JAN. 2017

Scale @ A3 AS SHOWN

# **WEST ELEVATION**

Scale 1:200



## **SOUTH ELEVATION**

Scale 1:200

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
С	ISSUED FOR DA.	11.05.2018	DR	CZ

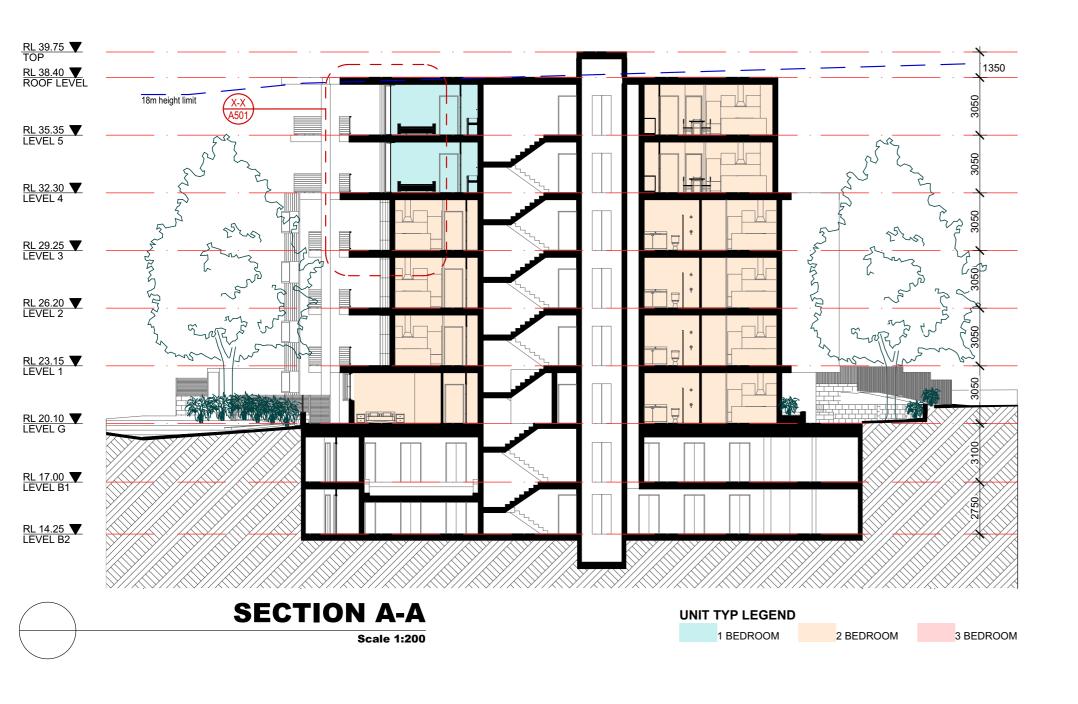


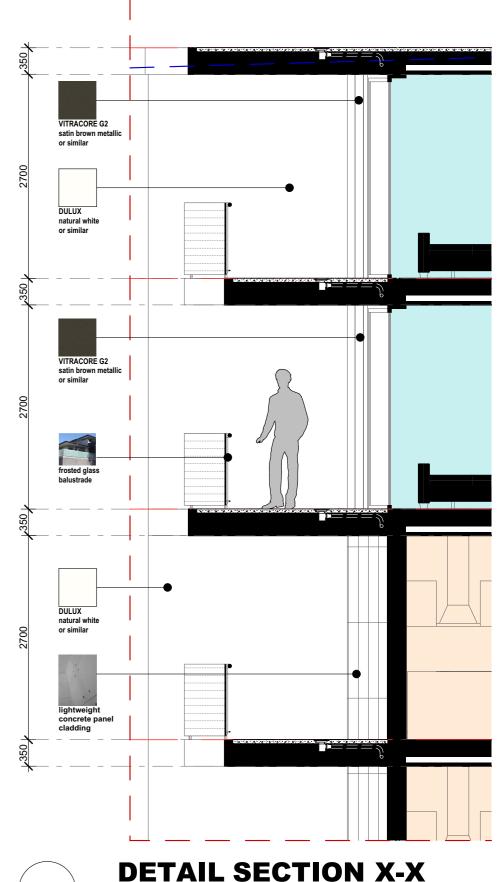
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ANDREW HASTIE	Acitivity Type DA	Job # 2194-16	
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ELEVATIONS







Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA	11 OF 2019	20	0.7



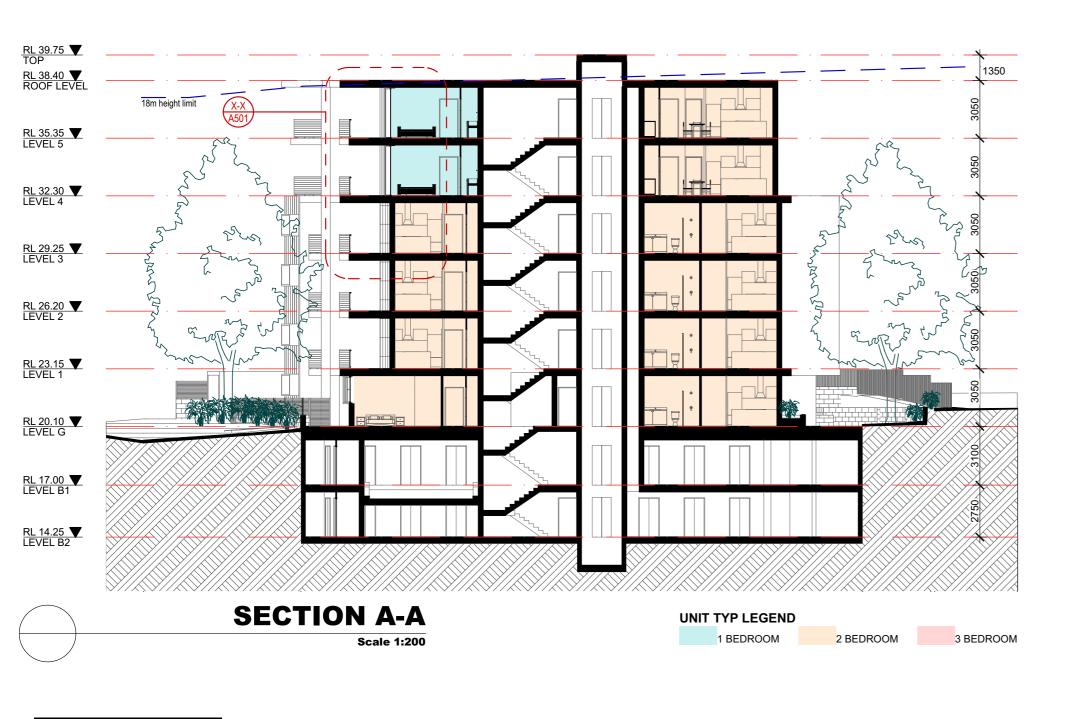
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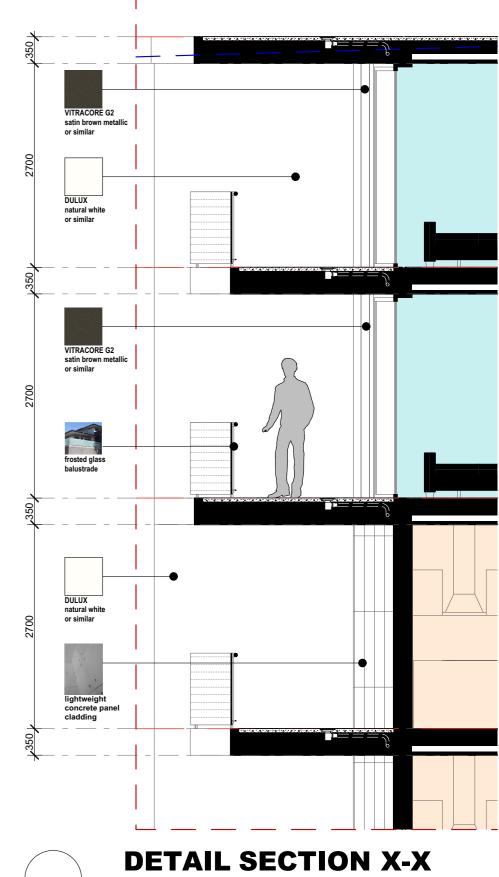
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e admin@algorryzappia.com.au	2N 42 064 0E0 600

Project PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn	Checked	Date
	DR	CZ	JAN. 2017
Client ANDREW HASTIE	Acitivity Type	Job #	Scale @ A3
	DA	2194-16	AS SHOWN
TITLE SECTION & DETAIL	Project #	Sheet #	Issue
	P4882	<b>A501</b>	<b>C</b>

Scale 1:50









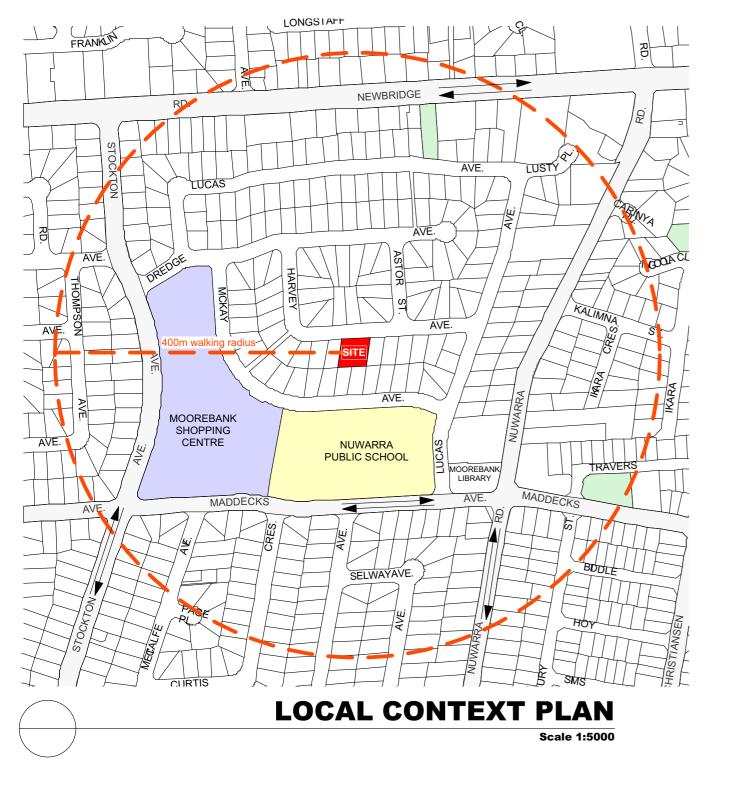
Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA	11 05 2018	DR	CZ

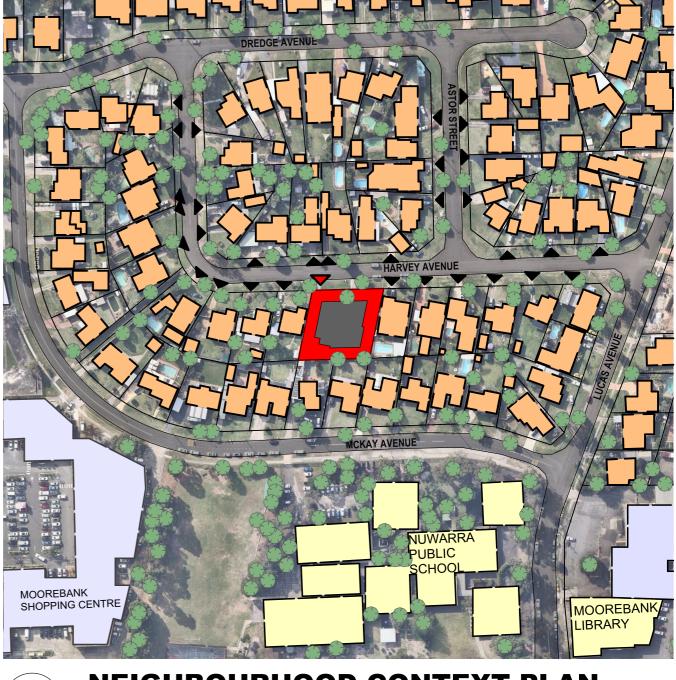


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Project PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn	Checked	Date
	DR	CZ	JAN. 2017
ANDREW HASTIE	Acitivity Type	Job #	Scale @ A3
	DA	2194-16	AS SHOWN
Title	Project #	Sheet #	Issue
SECTION & DETAIL		<b>A501</b>	<b>C</b>







### **NEIGHBOURHOOD CONTEXT PLAN**

Scale 1:2000



**PUBLIC OPEN SPACES** 



**PUBLIC HOSPITAL** 



TRAIN **STATIONS** 



**SHOPPING CENTRE** 



**EDUCATIONAL PLACES** 



**PROPOSED DEVELOPMENT PROPERTY** 



**PROPOSED VEHICULAR CROSSING** 



**EXISTING RESIDENTIAL BUILDINGS** 



**EXISTING VEHICULAR CROSSING** 



URBAN SITE ANALYSIS

**EXISTING** STREET TREES

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA	27 06 2017	DR	CZ



villa ⊕ villa

Level 4, 24 Hickson Rd .Millers PoinNSW 20 00 T: 02 9247 7667F: 02 9 247 7665 E: eduardo@villaandvilla.com.au Abn: 27 085 744 958 Eduardo Villa Director / Qualified Architect.

(NSW Registration Board) Reg. No 6813

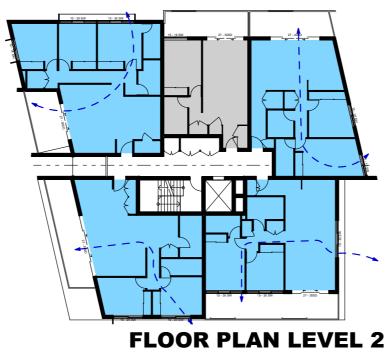
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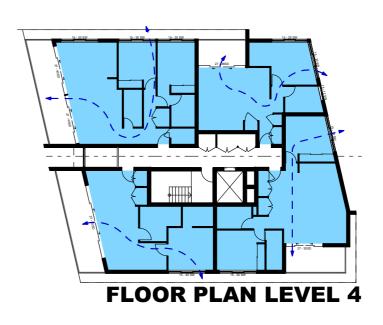
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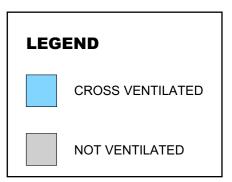
PROPOSED RESIDENTIAL DEVELOPMENT	
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn DR
ANDREW HASTIE	Acitivit DA

Drawn	Checked	Date
DR	CZ	JAN. 2017
Acitivity Type	Job #	Scale @ A3
DA	2194-16	AS SHOWN
Project #	Sheet #	Issue
P4882	A102	Α

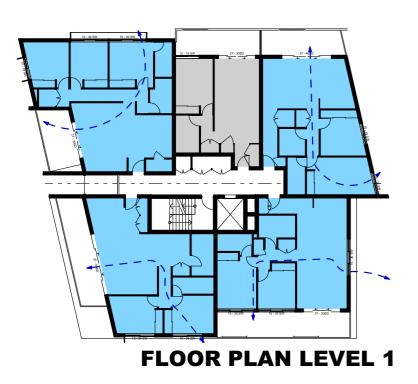


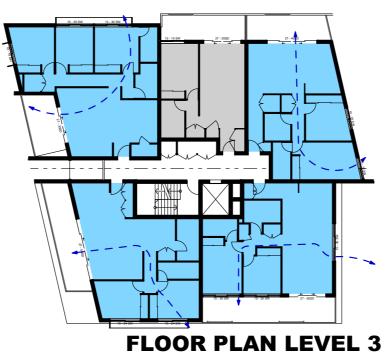


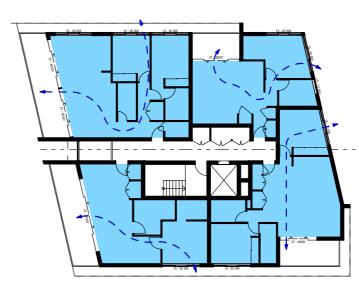




#### **GROUND FLOOR PLAN**







#### **FLOOR PLAN LEVEL 5**

#### **SEPP 65 - OBJECTIVE 4B-3**

At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building.

Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed.

TOTAL APARTMENTS 28

CROSS VENTILATED 24 apt. = 86%

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	11.05.2018	DR	CZ



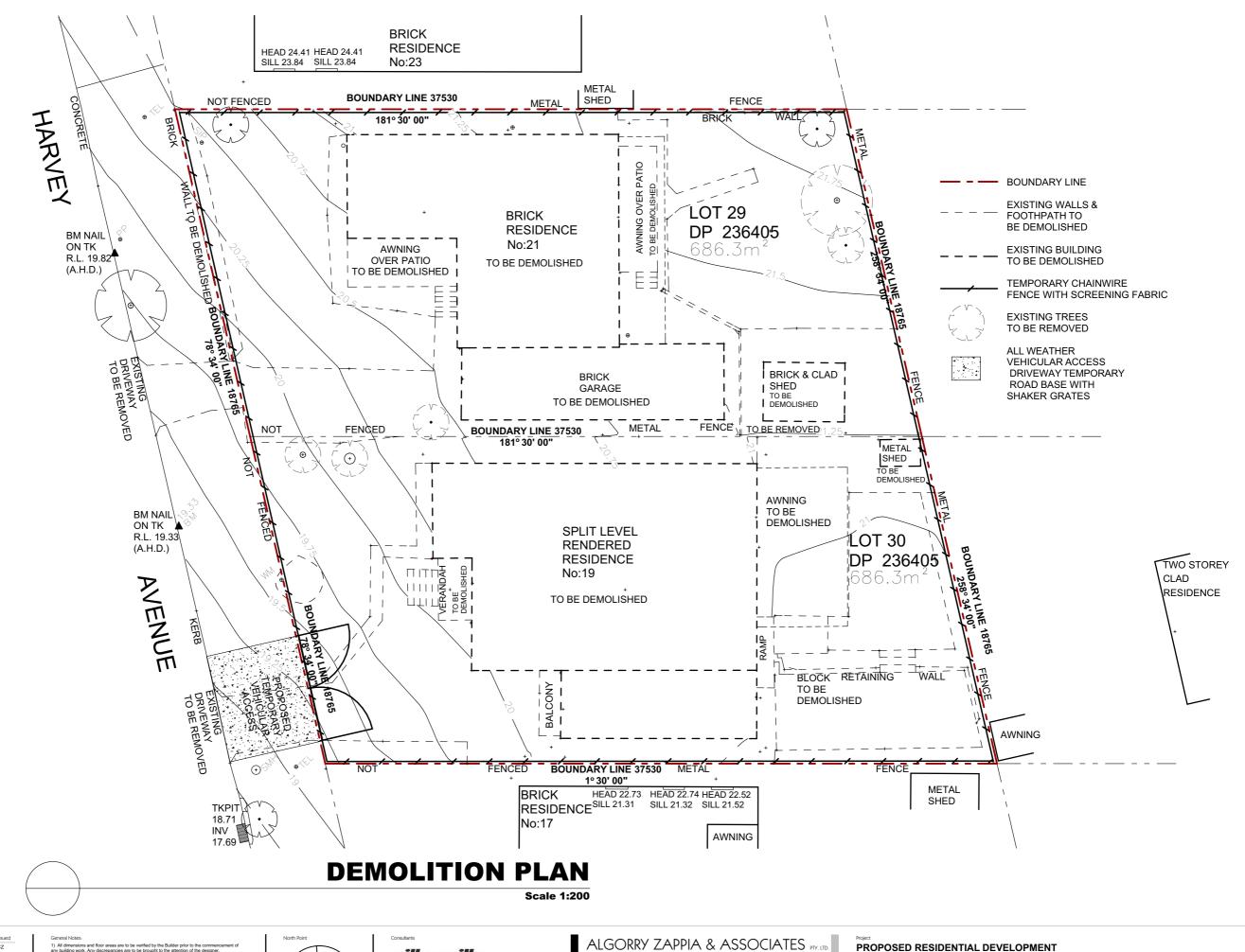


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e	admin@algorryzappia.com.au

Project			
PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue	Drawn DR	Checked CZ	Date <b>JAN. 2017</b>
MOOREBANK Client	Acitivity Type	Job #	Scale @ A3
ANDREW HASTIE	DA	2194-16	AS SHOWN
Title	Project #	Sheet #	Issue
CROSS VENTILATION STUDY	P4882	A302	В





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(NSW Registration Board) Reg. No 6813

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LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	DR	CZ
ANDREW HASTIE	Acitivity Type DA	Job # 2194-

P4882

A108

DEMOLITION PLAN

JAN. 2017

Scale @ A3 AS SHOWN







# EAST ELEVATION Scale 1:200

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA	11.05.2018	np.	C7

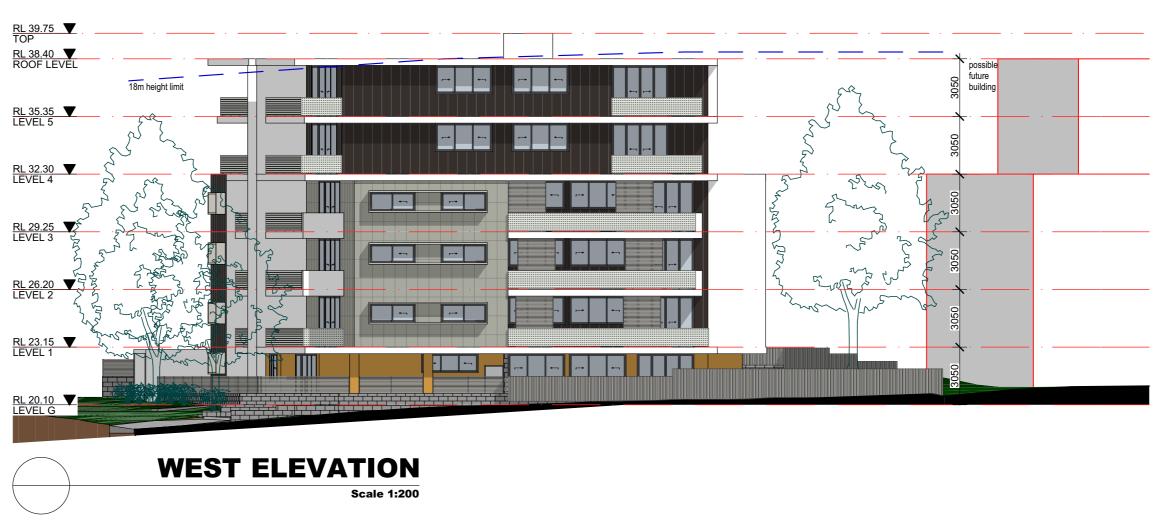
General Notes:
<ol> <li>All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.</li> </ol>
<ol><li>Levels shown are approximate unless accompanied by reduced levels.</li></ol>
<ol><li>Figured dimensions must be taken in preference to scaling.</li></ol>
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
<ol> <li>Stormwater to be discharged to Councils' requirements and AS 3500.3-1990.</li> </ol>
7) All services to be located and verified by the Builder with relevant authorities before any building

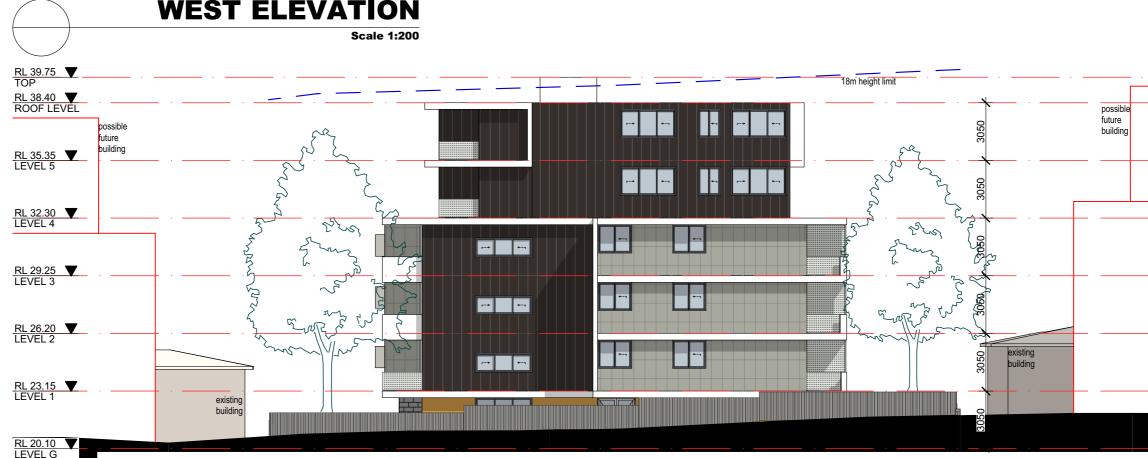


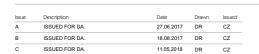
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	2602 3133 / 9602 0303 f 9601 6903	- 1
	sdmin@algorryzappia.com.au  ABN 43 064 952 6  ABN 43 064 952 6	92

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	DR	CZ	JAN. 2017
ANDREW HASTIE	Acitivity Type	Job #	Scale @ A3
	DA	2194-16	AS SHOWN
NOTIFIACTION PLAN - ELEVATIONS	Project #	Sheet #	lssue
	P4882	A702	<b>C</b>









Scale 1:200

**SOUTH ELEVATION** 

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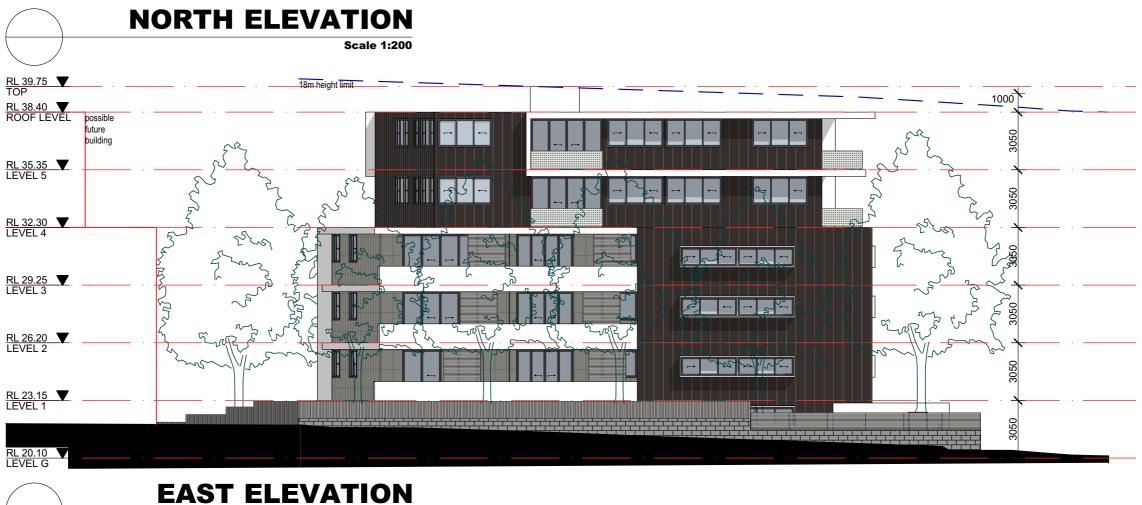
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2170 I 903		
	ABN 43 064 952 692	

Project PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn DR	Checked CZ	Date JAN. 2017
ANDREW HASTIE	Acitivity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
NOTIFICATION PLAN - ELEVATIONS	Project # <b>P4882</b>	Sheet # A703	Issue C









Scale 1:200

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LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	DR	CZ	JAN. 20
Client ANDREW HASTIE	Acitivity Type DA	Job # 2194-16	Scale @ A
Title	Project #	Sheet #	Issue
NOTIFIACTION PLAN - ELEVATIONS	P4882	A702	С

6.3

Dwelling Address 19-21 Harvey Ave

Moorebank, NSW 2170

Thomas Ruck

VIC/BDAV/12/1456 14 May 2018



# Scale 1:200





Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
С	ISSUED FOR DA.	11.05.2018	DR	CZ

#### **SOUTH ELEVATION** Scale 1:200

General Notes:	
<ol> <li>All dimensions and floor areas are to be verified by the Builder prior to the commencement any building work. Any discrepancies are to be brought to the attention of the designer.</li> </ol>	of
<ol><li>Levels shown are approximate unless accompanied by reduced levels.</li></ol>	
3) Figured dimensions must be taken in preference to scaling.	
4) All boundary clearances must be verified by the surveyor prior to commencement of any bu	ilding work.
5) Where engineering drawings are required such must take preference to this drawing.	
<ol><li>Stormwater to be discharged to Councils' requirements and AS 3500.3-1990.</li></ol>	
<ol> <li>All services to be located and verified by the Builder with relevant authorities before any builty work commences.</li> </ol>	lding



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	<b>DR</b>	CZ	JAN. 2017
ANDREW HASTIE	Acitivity Type	Job #	Scale @ A3
	DA	2194-16	AS SHOWN
Title	Project #	Sheet #	lssue
NOTIFICATION PLAN - ELEVATIONS	P4882	A703	<b>C</b>



**SHADOW DIAGRAM - Jun-21-9am** 1:500

Issue	Description	Date	Drawn	Issued
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В	ISSUED FOR DA.	18.08.2017	DR	CZ
С	ISSUED FOR DA.	11.05.2018	DR	CZ



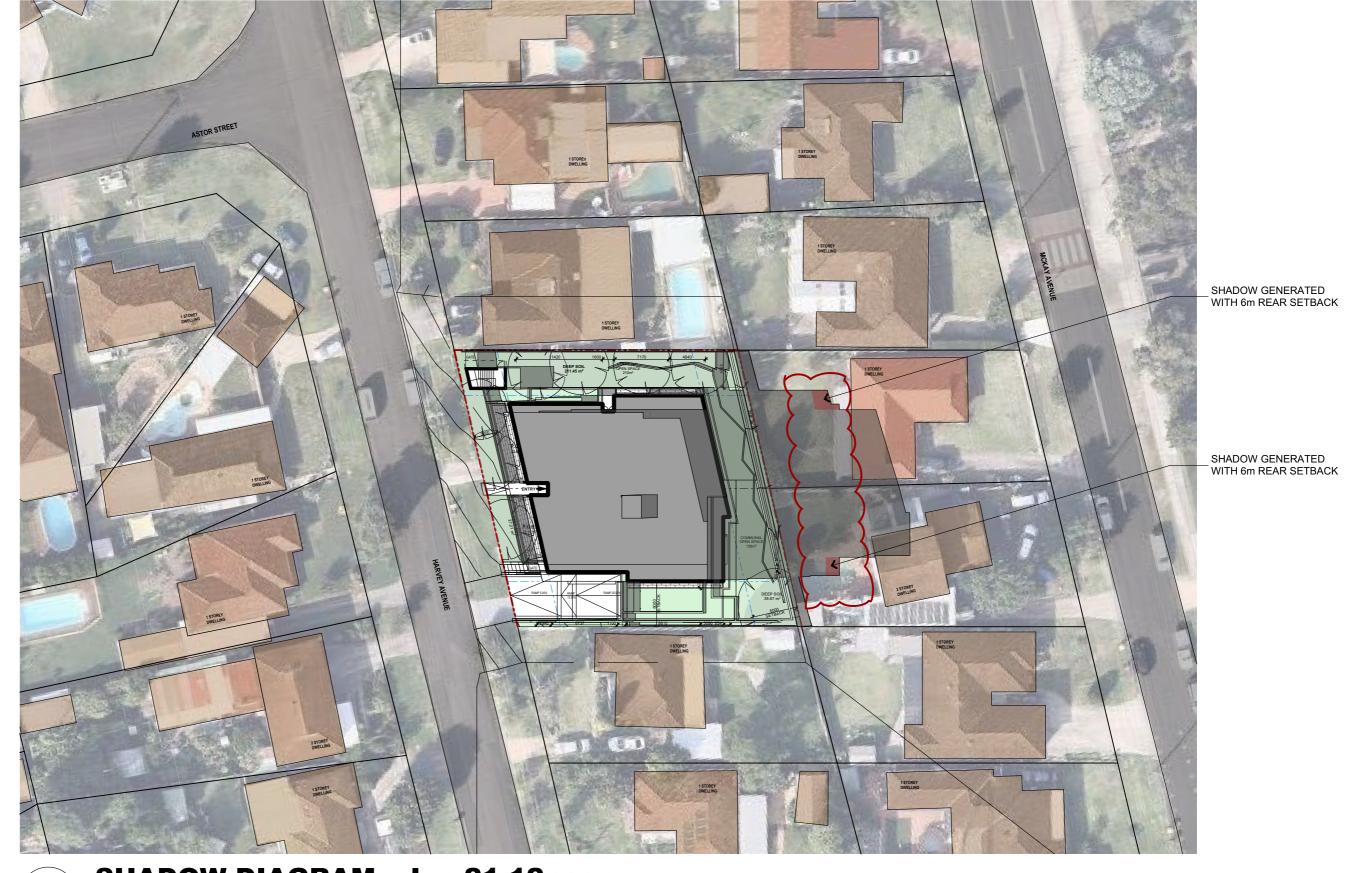
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MOOREBANK	DR	CZ	JAN. 2017
Gient ANDREW HASTIE	Acitivity Type	Job #	Scale @ A3
	DA	2194-16	AS SHOWN
Title	Project # P4882	Sheet #	lssue
SHADOW DIAGRAM		A104	<b>C</b>





Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
С	ISSUED FOR DA.	11.05.2018	DR	CZ
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SHADOW DIAGRAM

ANDREW HASTIE	Acitivity Type DA	Job # 2194-
PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn DR	Checker CZ
Project		

P4882

A105

JAN. 2017





Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
С	ISSUED FOR DA.	11.05.2018	DR	CZ



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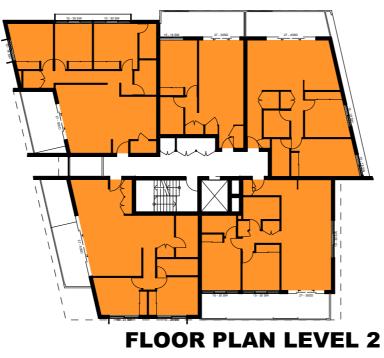
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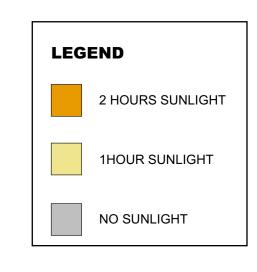
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LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	

LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue	Drawn	Checked	Date
MOOREBANK	DR	CZ	JAN. 2017
Client	Acitivity Type	Job #	Scale @ A3
ANDREW HASTIE	DA	2194-16	AS SHOWN
Title	Project # P4882	Sheet #	lssue
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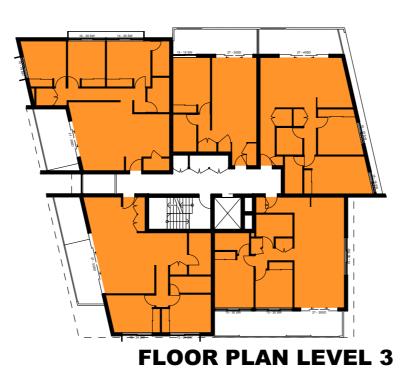














#### **SEPP 65 - OBJECTIVE 4A-1**

- 1. Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas.
- 3. A maximum of 15% of apartments in a building receive no direct sunlight between 9 am and 3 pm at mid winter.

TOTAL APARTMENTS 28

0 apt. = 0%**NO SUNLIGHT** 

2 HOURS SUNLIGHT 26 apt. = 93%

JAN. 2017

Scale @ A3 AS SHOWN

**FLOOR PLAN LEVEL 5** 

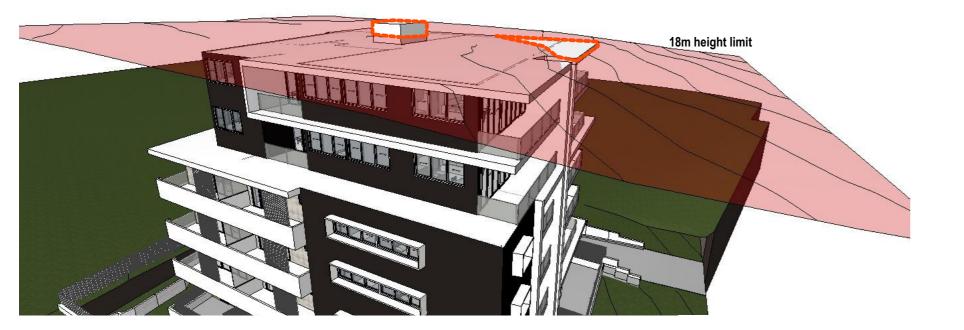
Issue	Description	Date	Drawn	Issued
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В	ISSUED FOR DA.	11.05.2018	DR	CZ



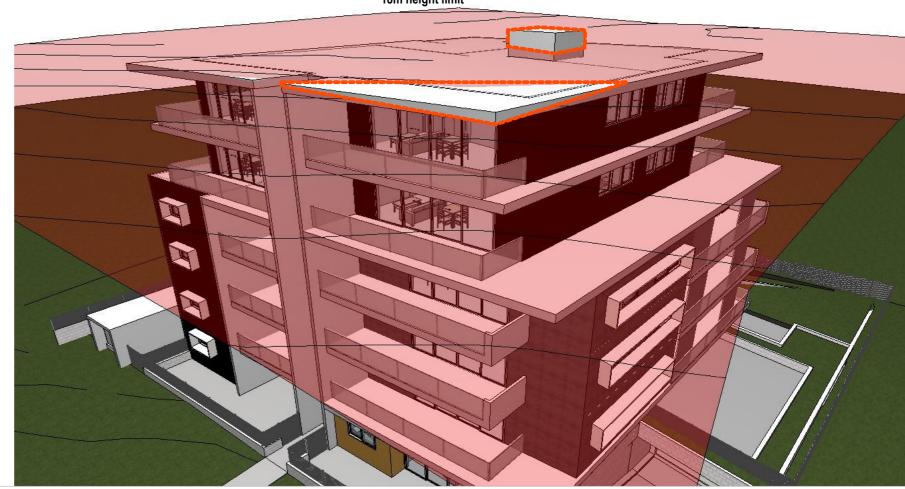




Project  PropOSED RESIDENTIAL DEVELOPMENT  LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue  MOOREBANK	Drawn DR	Checked CZ	
Clerk ANDREW HASTIE	Acitivity Type DA	Job # 2194-16	
SUNLIGHT ACCESS STUDY	Project # P4882	Sheet # A303	







Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
С	ISSUED FOR DA.	11.05.2018	DR	CZ



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MOOREBANK	DR	CZ	
ANDREW HASTIE	Acitivity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Title HEIGHT MAX BREACHING	Project #	Sheet #	Issue
	P4882	A403	<b>C</b>

### **HARVEY AVENUE STREETSCAPE**

**FUTURE CHARACTER DESIGN** 

Scale 1:500



### SITE CONTEXT PLAN

Scale 1:1000

**FUTURE CHARACTER DESIGN** 

Issue	Description	Date	Drawn	Issued
Α	ISSUED FOR DA.	27.06.2017	DR	CZ
В	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA	11.05.2018	DB	C7

General Notes

General Notes:

1) All dimensions and floor areas are to be verified by the Builder prior to the commencemen

any building work. Any discrepancies are to be brought to the attention of the designer.Levels shown are approximate unless accompanied by reduced levels.

4) All boundary clearances must be verified by the surveyor prior to commencement of any built 5) Where engineering drawings are required such must take preference to this drawing.

work commences.

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Consultants	
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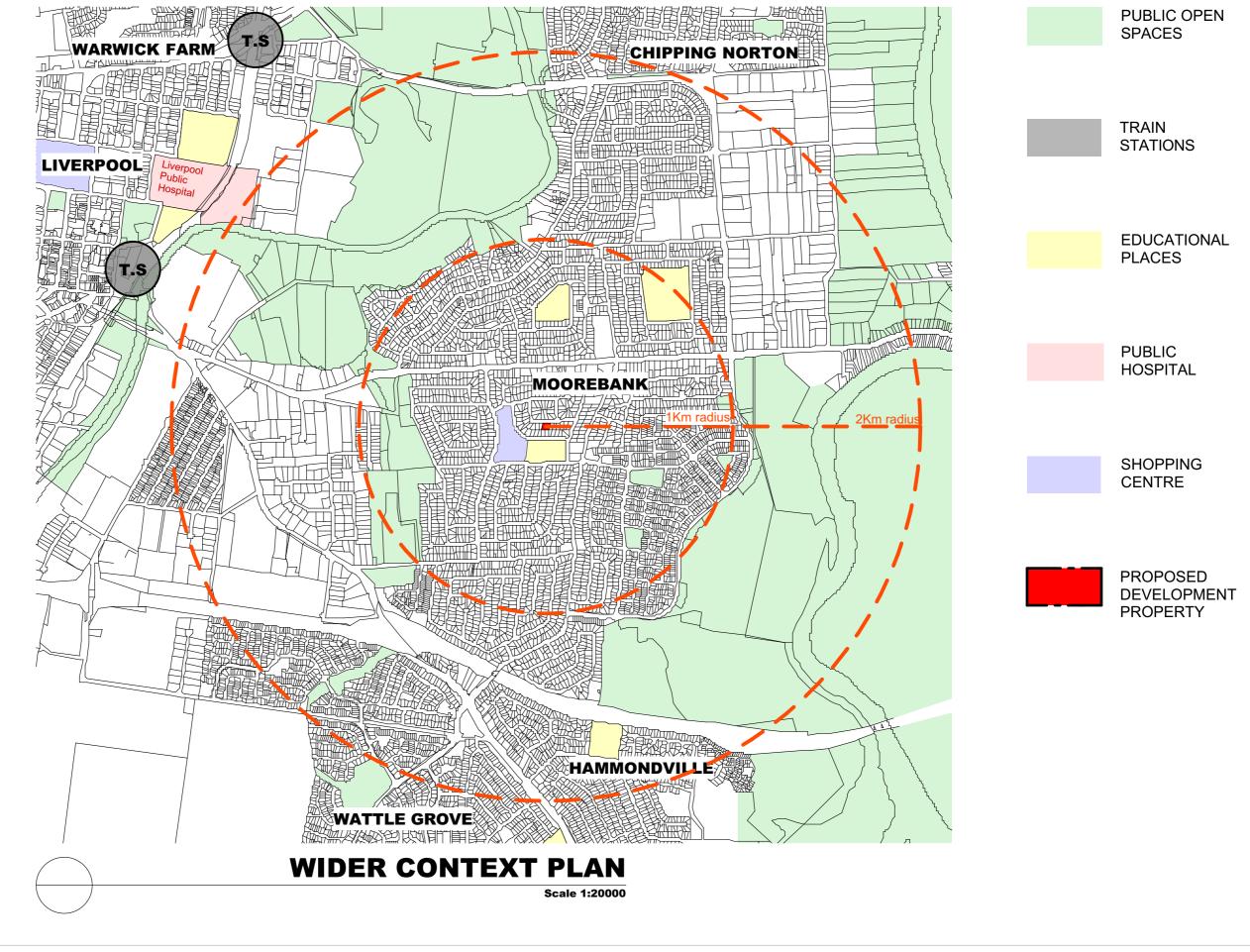
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PROPOSED RESIDENTIAL DEVELOPMENT LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue MOOREBANK	Drawn DR	Checked CZ	
ANDREW HASTIE	Acitivity Type DA	Job # 2194-16	
Title	Project #	Sheet #	_

FUTURE CHARACTER DESIGN

JAN. 2017

P4882 A103



 Issue
 Description
 Date
 Drawn
 Issued

 A
 ISSUED FOR DA.
 27.06.2017
 DR
 CZ

neral Notes:

 All dimensions and floor areas are to be verified by the Builder prior to the commencement any building work. Any discrepancies are to be brought to the attention of the designer.

Levels shown are approximate unless accompanied by reduced
 Figured dimensions must be taken in preference to scaling

All boundary clearances must be verified by the surveyor prior to commencement or any builty.

Where engineering drawings are required such must take preference to this drawing.

work commence

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#### villa ⊕ villa

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(NSW Registration Board) Reg. No 6813

ALGORRY ZAPPIA & ASSOCIATES PTV. LTG Building Designers & Consulting Civil & Structural Engineers	).
a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 9170 P.O. Box 895, Liverpool Business Centre, NSW 1871 t 9609 3133 /9609 0303 f 9601 6903	l

I/ (TLO PTY, LTD.	LOT. 29-30 - DP236405 - N.19-21 Harvey Aven MOOREBANK
	ANDREW HASTIE
ABN 43 064 952 692	Title SITE LOCATION

OSED RESIDENTIAL DEVELOPMENT 30 - DP236405 - N.19-21 Harvey Avenue BANK	Drawn DR	Checked CZ	Date JAN. 2017	
EW HASTIE	Acitivity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN	
OCATION	Project # P4882	Sheet # A101	Issue <b>A</b>	