

Building Designers & Consulting Civil & Structural Engineers

PROPOSED RESIDENTIAL DEVELOPMENT

LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

ANDREW HASTIE

Architectural

SITE ANALYSIS

A101 SITE LOCATION
A102 URBAN SITE ANALYSIS
A103 FUTURE CHARACTER DESIGN
A104 SHADOW DIAGRAM
A105 SHADOW DIAGRAM
A106 SHADOW DIAGRAM
A107 SURVEY PLAN
A108 DEMOLITION PLAN
A109 SITE ANALYSIS
A110 DEVELOPMENT DATATABLES

FLOOR PLANS

A201 FLOOR PLAN
A202 FLOOR PLAN
A203 FLOOR PLAN
A204 FLOOR PLAN
A205 FLOOR PLAN
A206 FLOOR PLAN
A207 FLOOR PLAN
A208 FLOOR PLAN

UNITS STUDY

A301 ADAPTABLE UNITS LAYOUT
A302 CROSS VENTILATION STUDY
A303 SUNLIGHT ACCESS STUDY

ELEVATIONS

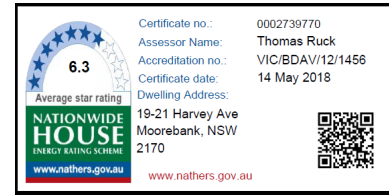
A401 ELEVATIONS
A402 ELEVATIONS
A403 HEIGHT MAX BREACHING

SECTIONS

A501 SECTION & DETAIL

3D MODEL & FINISH SCHEDULE

A601 3D VIEWS, MATERIALS & FINISH SCHEDULE



a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 825, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

Issue	Description	Date
A	ISSUED FOR DA.	27.06.2017
B	ISSUED FOR DA.	18.08.2017
C	ISSUED FOR DA.	11.05.2018

Drawn DR	Checked CZ	Project # P4882
Activity Type DA	Job # 2194-16	Issue C

DEVELOPMENT DATA:

O/A SITE AREA 1372.60m²

R4 HIGH DESNTY RESIDENTIAL ZONE

PERMISSIBLE H MAX 18m

PERMISSIBLE FSR 1.2:1

PROPOSED REDSIDENTIAL APARTMENTS WITH

50% GFAAS AFFORDABLE HOUSING AS PER

SEPP 2009

BONUS FSR 0.5:1

TOTAL PERMISSIBLE FSR 1.7:1

PERMISSIBLE GFA 2333.42m²

PROPOSED GROSS FLOOR AREA GFA

GROUND LEVEL 403.70m²

LEVEL 1 415.55m²

LEVEL 2 419.80m²

LEVEL 3 415.55m²

LEVEL 4 297.35m²

LEVEL 5 293.05m²

TOTAL GFA 2245.00m²

PROPOSED FSR 1.63:1

AFFORDABLE MIN GFA 1122.50m²

PROPOSED AFFORDABLE UNITS

LEVEL 2 + LOBBY 419.80m²

LEVEL 3 + LOBBY 415.55m²

LEVEL 4 + LOBBY 297.35m²

TOTAL AFF. AREA 1137.70m²

PROPOSED UNITS

1 BED UNITS 9

2 BED UNITS 15

3 BED UNITS 4

TOTAL UNITS 28

CARPARK REQUIREMENTS

AFFORDABLE HOUSING

0.5 PER 1 BED UNIT 2

1 PER 2 BED UNIT 8

1.5 PER 3 BED UNIT 3

STANDARD HOUSING

1 PER 1 BED UNIT 5

1.5 PER 2 BED UNIT 10.5

2 PER 3 BED UNIT 4

1 VISITORS PER 4 UNITS 3.5

TOTAL REQUIRED 36

CARPARK PROPOSED 32+4

LANDSCAPING REQUIREMENTS

LANDSCAPING AREA MIN 411.80m²

30% site =

DEEP SOIL AREA MIN

15% site & 3m min dimension = 205.90m²

COMMUNAL OPEN SPACE MIN

25% site = 343.15m²

LANDSCAPING PROPOSED

LANDSCAPING AREA 584.00m²

DEEP SOIL AREA 394.95m²

COMMUNAL OPEN SPACE 390.00m²

UNIT SCHEDULE				UNIT SCHEDULE			
Floor Level	Unit Number	Unit Type	Measured Area	Floor Level	Unit Number	Unit Type	Measured Area
GROUND FLOOR LEVEL				FLOOR LEVEL 3			
	LG.01	3 BED	96.40	AFFORDABLE	L3.16	3 BED	96.40
	LG.01	P.O.S.	37.00		L3.16	P.O.S.	13.12
			133.40 m²				109.52 m²
	LG.02	1 BED	52.36	AFFORDABLE	L3.17	1 BED	52.36
	LG.02	P.O.S.	20.07		L3.17	P.O.S.	14.12
			72.43 m²				66.48 m²
	LG.03	1 BED	64.61	AFFORDABLE	L3.18	2 BED	79.40
	LG.03	P.O.S.	18.82		L3.18	P.O.S.	13.77
			83.43 m²				93.17 m²
	LG.04	2 BED	81.54	AFFORDABLE	L3.19	2 BED	81.54
	LG.04	P.O.S.	64.60		L3.19	P.O.S.	21.56
			146.14 m²				103.10 m²
	LG.05	2 BED	70.19	AFFORDABLE	L3.20	2 BED	81.45
	LG.05	P.O.S.	24.23		L3.20	P.O.S.	18.53
			94.42 m²				99.98 m²
FLOOR LEVEL 1				FLOOR LEVEL 4			
	L1.06	3 BED	96.40	AFFORDABLE	L4.21	2 BED	82.03
	L1.06	P.O.S.	13.12		L4.21	P.O.S.	17.99
			109.52 m²				100.02 m²
	L1.07	1 BED	52.36	AFFORDABLE	L4.22	1 BED	55.72
	L1.07	P.O.S.	14.12		L4.22	P.O.S.	8.00
			66.48 m²				63.72 m²
	L1.08	2 BED	79.40	AFFORDABLE	L4.23	2 BED	76.04
	L1.08	P.O.S.	13.77		L4.23	P.O.S.	10.12
			93.17 m²				86.16 m²
	L1.09	2 BED	81.54	AFFORDABLE	L4.24	1 BED	58.46
	L1.09	P.O.S.	22.28	ADAPTABLE	L4.24	P.O.S.	17.56
			103.82 m²				76.02 m²
	L1.10	2 BED	81.45	FLOOR LEVEL 5			
	L1.10	P.O.S.	18.53		L5.25	2 BED	82.03
			99.98 m²		L5.25	P.O.S.	17.98
							100.01 m²
FLOOR LEVEL 2					L5.26	1 BED	55.72
AFFORDABLE	L2.11	3 BED	96.40		L5.26	P.O.S.	8.00
	L2.11	P.O.S.	13.12				63.72 m²
			109.52 m²		L5.27	2 BED	76.04
AFFORDABLE	L2.12	1 BED	52.35		L5.27	P.O.S.	10.12
	L2.12	P.O.S.	14.12				86.16 m²
			66.47 m²		L5.28	1 BED	58.46
AFFORDABLE	L2.13	2 BED	79.40	ADAPTABLE	L5.28	P.O.S.	17.56
	L2.13	P.O.S.	13.77				76.02 m²
			93.17 m²				2599.11 m²
AFFORDABLE	L2.14	2 BED	81.54	NOTE: P.O.S. (PRIVATE OPEN SPACE) DENOTES: BALCONIES, TERRACES, COURTYARDS			
	L2.14	P.O.S.	21.56				
			103.10 m²				
AFFORDABLE	L2.15	2 BED	81.45				
	L2.15	P.O.S.	18.53				
			99.98 m²				

UNIT TYPE LEGEND

1 BEDROOM 2 BEDROOM 3 BEDROOM

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.
COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS

LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au

© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

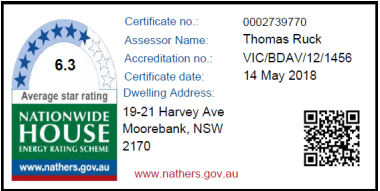
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

Title:
DEVELOPMENT DATA TABLES

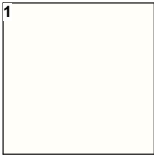
Drawn DR	Checked CZ	Date: JAN. 2017
Activity Type: DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A110	Issue: C



HARVEY AVENUE



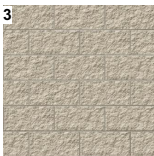
HARVEY AVENUE



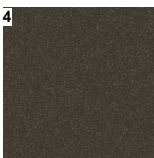
DULUX
natural white
or similar
Paint finish to concrete
slab parapet and walls



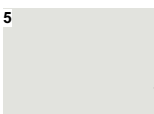
DULUX
golden koi
or similar
Paint finish to Hebel wall



AUSTRAL
limestone or similar
Concrete block to
fence wall



VITRACORE G2
satin brown metallic
or similar
Composite cladding
to Hebel wall



COLORBOND
surfmist or similar
Horizontal metal slates
fence



lightweight
concrete panel
cladding
Lightweight concrete
composite panel
cladding to Hebel wall

SOUTH EAST



SOUTH WEST



Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.
COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algotry Zappia & Associates Pty Ltd.

Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS
LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au
© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGOTRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algotryzappia.com.au
w www.algotryzappia.com.au

ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

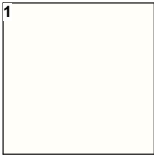
Title:
3D VIEWS, MATERIALS & FINISH SCHEDULE

Drawn DR	Checked CZ	Date: JAN. 2017
Activity Type: DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A601	Issue: C

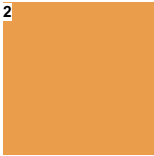
HARVEY AVENUE



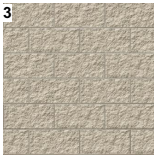
HARVEY AVENUE



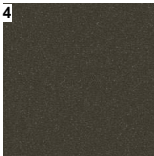
DULUX
natural white
or similar
Paint finish to concrete
slab parapet and walls



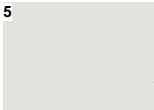
DULUX
golden koi
or similar
Paint finish to Hebel wall



AUSTRAL
limestone or similar
Concrete block to
fence wall



VITRACORE G2
satin brown metallic
or similar
Composite cladding
to Hebel wall



COLORBOND
surfmist or similar
Horizontal metal slates
fence



**lightweight
concrete panel
cladding**
Lightweight concrete
composite panel
cladding to Hebel wall

SOUTH EAST



SOUTH WEST



Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS

LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villoandvilla.com.au

© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

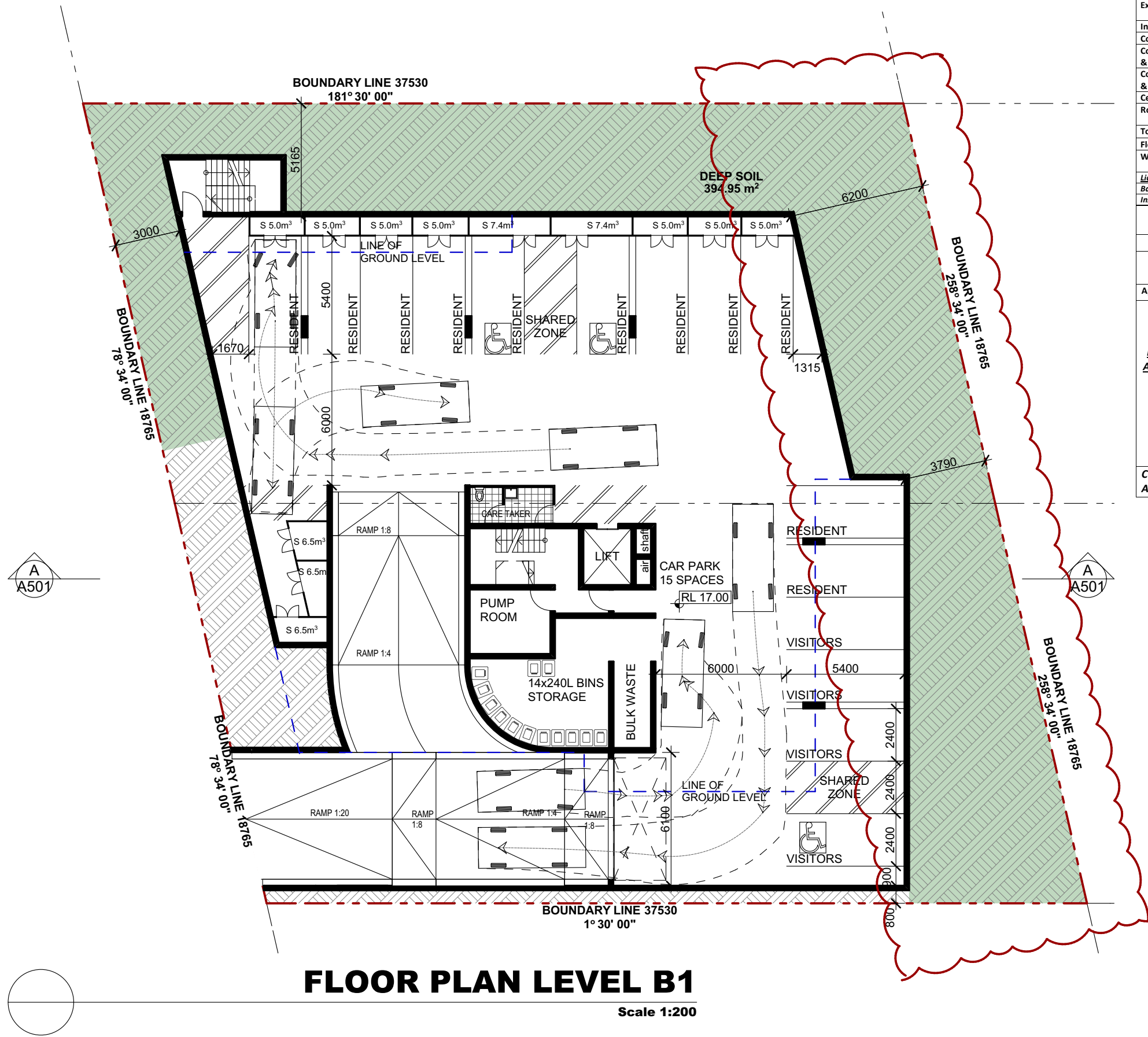
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

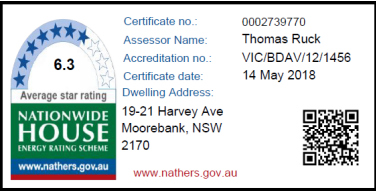
Client:
ANDREW HASTIE

Title:
3D VIEWS, MATERIALS & FINISH SCHEDULE

Drawn DR	Checked CZ	Date: JAN. 2017
Activity Type: DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A601	Issue: C



Project Address: 19-21 Harvey Ave, Moorebank NSW 2170				
Building Elements	Material	Detail		
External walls	75mm Hebel + Stud + Insulation + Plasterboard	R1.5 Bulk Insulation		
Internal walls within units	Plasterboard on studs	-		
Common walls between Units	Hebel + Stud + Plasterboard	-		
Common walls between Units & Lobby	Hebel + Stud + Plasterboard	-		
Common walls between Units & Fire Stairs/lift Shaft	200mm Concrete+ Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation		
Ceilings	Plasterboard	-		
Roof – Units 3.18 & 3.19	Concrete – insulation to concrete exposed to external environment	R1.0 Bulk Insulation		
Top Floor Roof	Concrete	R2.5 Bulk Insulation		
Floors	Concrete	-		
Windows	Aluminium framed, single glazed clear – Sliding Windows / Doors	U value 6.70 or less and a SHGC of 0.70 +/- 10%		
<i>Lighting: These Units must use non ventilated LED downlights as per Individual NatHERS Certificates if proposed</i>				
<i>Bathroom / Ensuite / Laundry exhaust fans to have self-closing dampers</i>				
<i>Insulation should be installed with due consideration of condensation & associated interaction with adjoining building materials</i>				
BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	3 star(>6 but<=7.5L/min)	4 star	5 star	6 star
Appliances:	Dishwashers - 4.5 star water rating			
ENERGY				
	<i>Hot water system: Central Gas Instantaneous – Refer to approved BASIX</i>			
	<i>Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off</i>			
	<i>Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off</i>			
	<i>Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off</i>			
<u>REFER TO APPROVED BASIX</u>	<i>Cooling system: air-conditioning 1 Phase – EER 2.5 – 3.0 – Refer to BASIX</i>			
	<i>Heating system: air-conditioning 1Phase – EER 2.5 – 3.0 – Refer to BASIX</i>			
	<i>Artificial lighting: As per BASIX</i>			
	<i>Natural lighting: As per BASIX</i>			
	<i>Appliances:</i>			
	Gas cooktop & electric oven			
	Dishwashers: 2.5 star energy rating			
<u>COMMON AREAS</u>	<u>Refer to approved BASIX cert</u>			

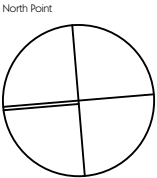


Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:

- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- 2) Levels shown are approximate unless accompanied by reduced levels.
- 3) Figured dimensions must be taken in preference to scaling.
- 4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
- 5) Where engineering drawings are required such must take preference to this drawing.
- 6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
- 7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT: This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS

LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au

© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 825, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

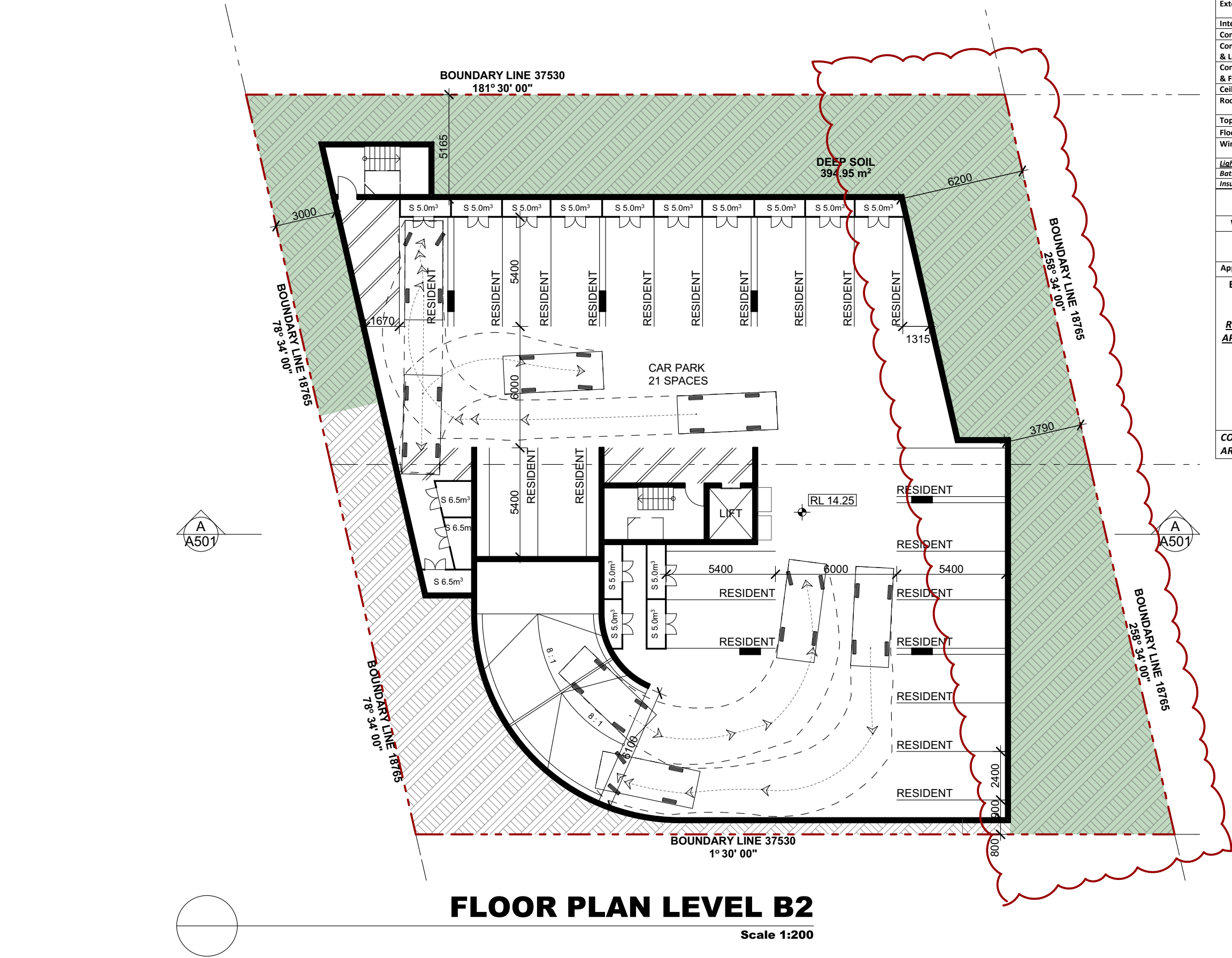
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

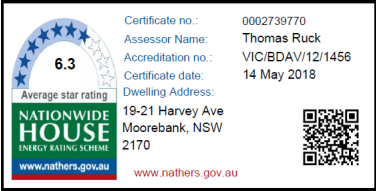
Client:
ANDREW HASTIE

Title:
FLOOR PLAN

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A202	Issue C



Project Address: 19-21 Harvey Ave, Moorebank NSW 2170				
Building Elements		Material		Detail
External walls	75mm Hebel + Stud + Insulation + Plasterboard		R1.5 Bulk Insulation	
Internal walls within units	Plasterboard on studs		-	
Common walls between Units	Hebel + Stud + Plasterboard		-	
Common walls between Units & Lobby	Hebel + Stud + Plasterboard		-	
Common walls between Units & Fire Stairs/lift Shaft	200mm Concrete+ Furring Channel + Insulation + Plasterboard		R1.5 Bulk Insulation	
Ceilings	Plasterboard		-	
Roof – Units 3.18 & 3.19	Concrete – insulation to concrete exposed to external environment		R1.0 Bulk Insulation	
Top Floor Roof	Concrete		R2.5 Bulk Insulation	
Floors	Concrete		-	
Windows	Aluminium framed, single glazed clear – Sliding Windows / Doors		U value 6.70 or less and a SHGC of 0.70 +/- 10%	
<i>Lighting: These Units must use non ventilated LED downlights as per Individual NatHERS Certificates if proposed</i>				
<i>Bathroom / Ensuite / Laundry exhaust fans to have self-closing dampers</i>				
<i>Insulation should be installed with due consideration of condensation & associated interaction with adjoining building materials</i>				
BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	3 star(>6 but<=7.5L/min)	4 star	5 star	6 star
Appliances:	Dishwashers - 4.5 star water rating			
ENERGY				
<u>REFER TO APPROVED BASIX</u>	<i>Hot water system:</i> Central Gas Instantaneous – Refer to approved BASIX			
	<i>Bathroom ventilation system:</i> Individual fan, ducted to façade or roof manual switch on/off			
	<i>Kitchen ventilation system:</i> Individual fan, ducted to façade or roof manual switch on/off			
	<i>Laundry ventilation system:</i> Individual fan, ducted to façade or roof manual switch on/off			
	<i>Cooling system:</i> air-conditioning 1 Phase – EER 2.5 – 3.0 – Refer to BASIX			
	<i>Heating system:</i> air-conditioning 1Phase – EER 2.5 – 3.0 – Refer to BASIX			
	<i>Artificial lighting:</i> As per BASIX			
	<i>Natural lighting:</i> As per BASIX			
COMMON AREAS	<i>Appliances:</i>			
	Gas cooktop & electric oven			
	Dishwashers: 2.5 star energy rating			
<u>Refer to approved BASIX cert</u>				

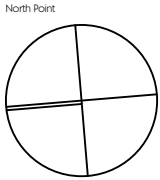


Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:

- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- 2) Levels shown are approximate unless accompanied by reduced levels.
- 3) Figured dimensions must be taken in preference to scaling.
- 4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
- 5) Where engineering drawings are required such must take preference to this drawing.
- 6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
- 7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS

LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au

© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

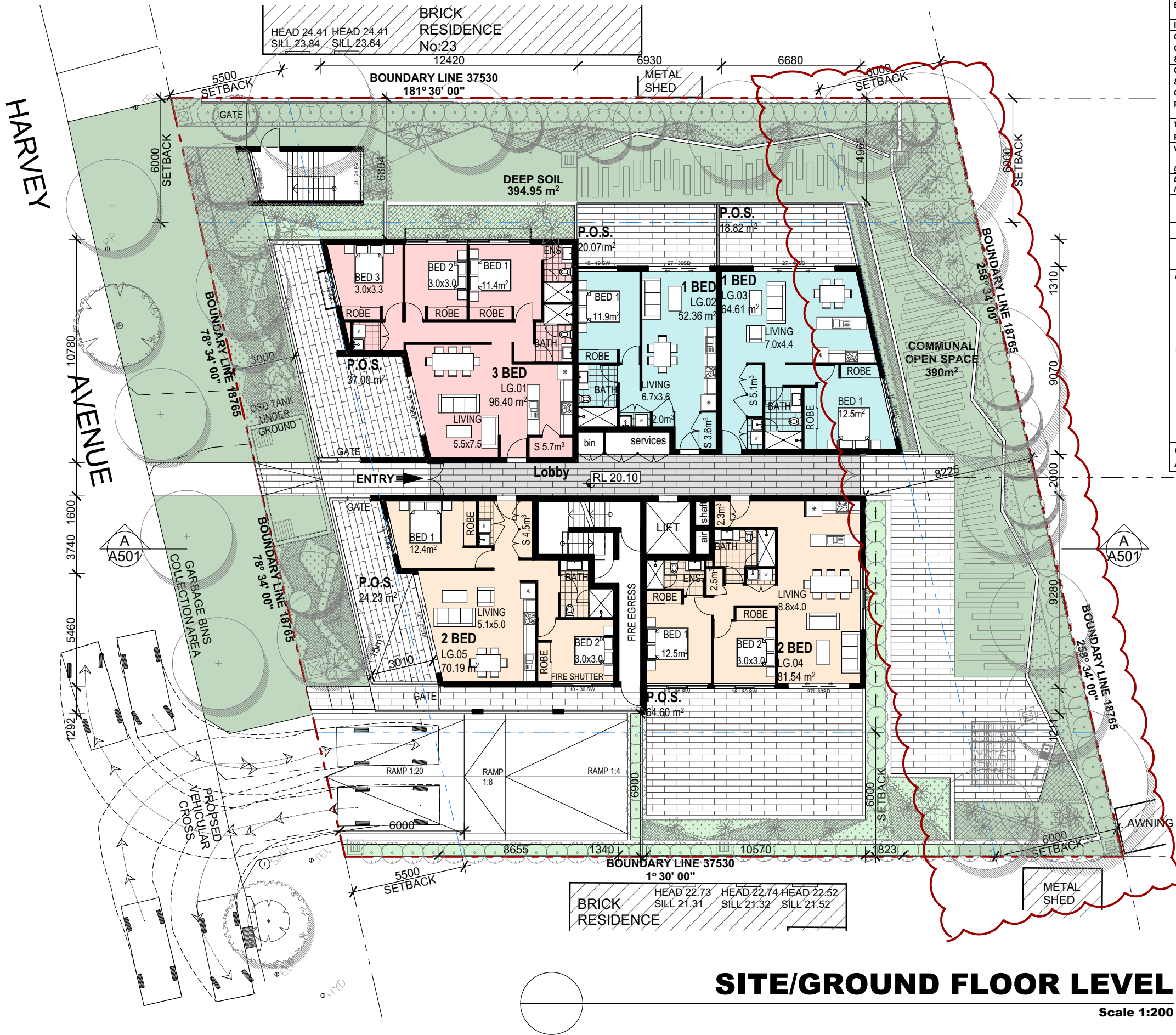
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

Title:
FLOOR PLAN

Drawn DR	Checked CZ	Date: JAN. 2017
Activity Type: DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A201	Issue: C



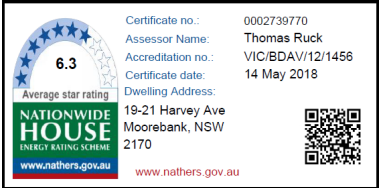
SITE/GROUND FLOOR LEVEL

Scale 1:200

UNIT TYP LEGEND

1 BEDROOM 2 BEDROOM 3 BEDROOM

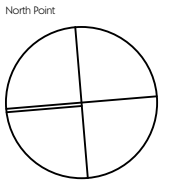
Project Address: 19-21 Harvey Ave, Moorebank NSW 2170				
Building Elements	Material	Detail		
External walls	75mm Hebel + Stud + Insulation + Plasterboard	R1.5 Bulk Insulation		
Internal walls within units	Plasterboard on studs	-		
Common walls between Units	Hebel + Stud + Plasterboard	-		
Common walls between Units & Lobby	Hebel + Stud + Plasterboard	-		
Common walls between Units & Fire Stairs/lift Shaft	200mm Concrete+ Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation		
Ceilings	Plasterboard	-		
Roof – Units 3.18 & 3.19	Concrete – insulation to concrete exposed to external environment	R1.0 Bulk Insulation		
Top Floor Roof	Concrete	R2.5 Bulk Insulation		
Floors	Concrete	-		
Windows	Aluminium framed, single glazed clear – Sliding Windows / Doors	U value 6.70 or less and a SHGC of 0.70 +/- 10%		
<i>Lighting: These Units must use non ventilated LED downlights as per Individual NatHERS Certificates if proposed</i>				
<i>Bathroom / Ensuite / Laundry exhaust fans to have self-closing dampers</i>				
<i>Insulation should be installed with due consideration of condensation & associated interaction with adjoining building materials</i>				
BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	3 star(>6 but<=7.5L/min)	4 star	5 star	6 star
Appliances:	Dishwashers - 4.5 star water rating			
ENERGY				
Hot water system: Central Gas Instantaneous – Refer to approved BASIX				
Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Cooling system: air-conditioning 1 Phase – EER 2.5 – 3.0 – Refer to BASIX				
Heating system: air-conditioning 1Phase – EER 2.5 – 3.0 – Refer to BASIX				
Artificial lighting: As per BASIX				
Natural lighting: As per BASIX				
Appliances:				
Gas cooktop & electric oven				
Dishwashers: 2.5 star energy rating				
Refer to approved BASIX cert				
COMMON AREAS				



Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Consultants
VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS
LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au
© COPYRIGHT VILLA AND VILLA PTY LTD 2017

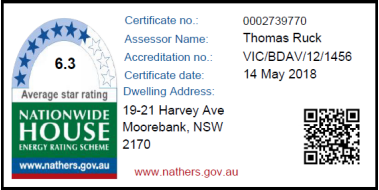
ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers
a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK
Client:
ANDREW HASTIE
Title:
FLOOR PLAN

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A203	Issue C



Project Address: 19-21 Harvey Ave, Moorebank NSW 2170				
Building Elements	Material	Detail		
External walls	75mm Hebel + Stud + Insulation + Plasterboard	R1.5 Bulk Insulation		
Internal walls within units	Plasterboard on studs	-		
Common walls between Units	Hebel + Stud + Plasterboard	-		
Common walls between Units & Lobby	Hebel + Stud + Plasterboard	-		
Common walls between Units & Fire Stairs/lift Shaft	200mm Concrete+ Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation		
Ceilings	Plasterboard	-		
Roof – Units 3.18 & 3.19	Concrete – insulation to concrete exposed to external environment	R1.0 Bulk Insulation		
Top Floor Roof	Concrete	R2.5 Bulk Insulation		
Floors	Concrete	-		
Windows	Aluminium framed, single glazed clear – Sliding Windows / Doors	U value 6.70 or less and a SHGC of 0.70 +/- 10%		
<i>Lighting: These Units must use non ventilated LED downlights as per Individual NatHERS Certificates if proposed</i>				
<i>Bathroom / Ensuite / Laundry exhaust fans to have self-closing dampers</i>				
<i>Insulation should be installed with due consideration of condensation & associated interaction with adjoining building materials</i>				
BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	3 star(>6 but<=7.5L/min)	4 star	5 star	6 star
Appliances:	Dishwashers - 4.5 star water rating			
ENERGY				
<i>Hot water system:</i> Central Gas Instantaneous – Refer to approved BASIX				
<i>Bathroom ventilation system:</i> Individual fan, ducted to façade or roof manual switch on/off				
<i>Kitchen ventilation system:</i> Individual fan, ducted to façade or roof manual switch on/off				
<i>Laundry ventilation system:</i> Individual fan, ducted to façade or roof manual switch on/off				
<u>REFER TO APPROVED BASIX</u>	<i>Cooling system:</i> air-conditioning 1 Phase – EER 2.5 – 3.0 – Refer to BASIX			
	<i>Heating system:</i> air-conditioning 1Phase – EER 2.5 – 3.0 – Refer to BASIX			
	<i>Artificial lighting:</i> As per BASIX			
	<i>Natural lighting:</i> As per BASIX			
	<i>Appliances:</i>			
Gas cooktop & electric oven				
Dishwashers: 2.5 star energy rating				
COMMON AREAS	<u>Refer to approved BASIX cert</u>			

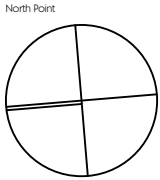


Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:

- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- 2) Levels shown are approximate unless accompanied by reduced levels.
- 3) Figured dimensions must be taken in preference to scaling.
- 4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
- 5) Where engineering drawings are required such must take preference to this drawing.
- 6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
- 7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT: This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS

LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au

© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

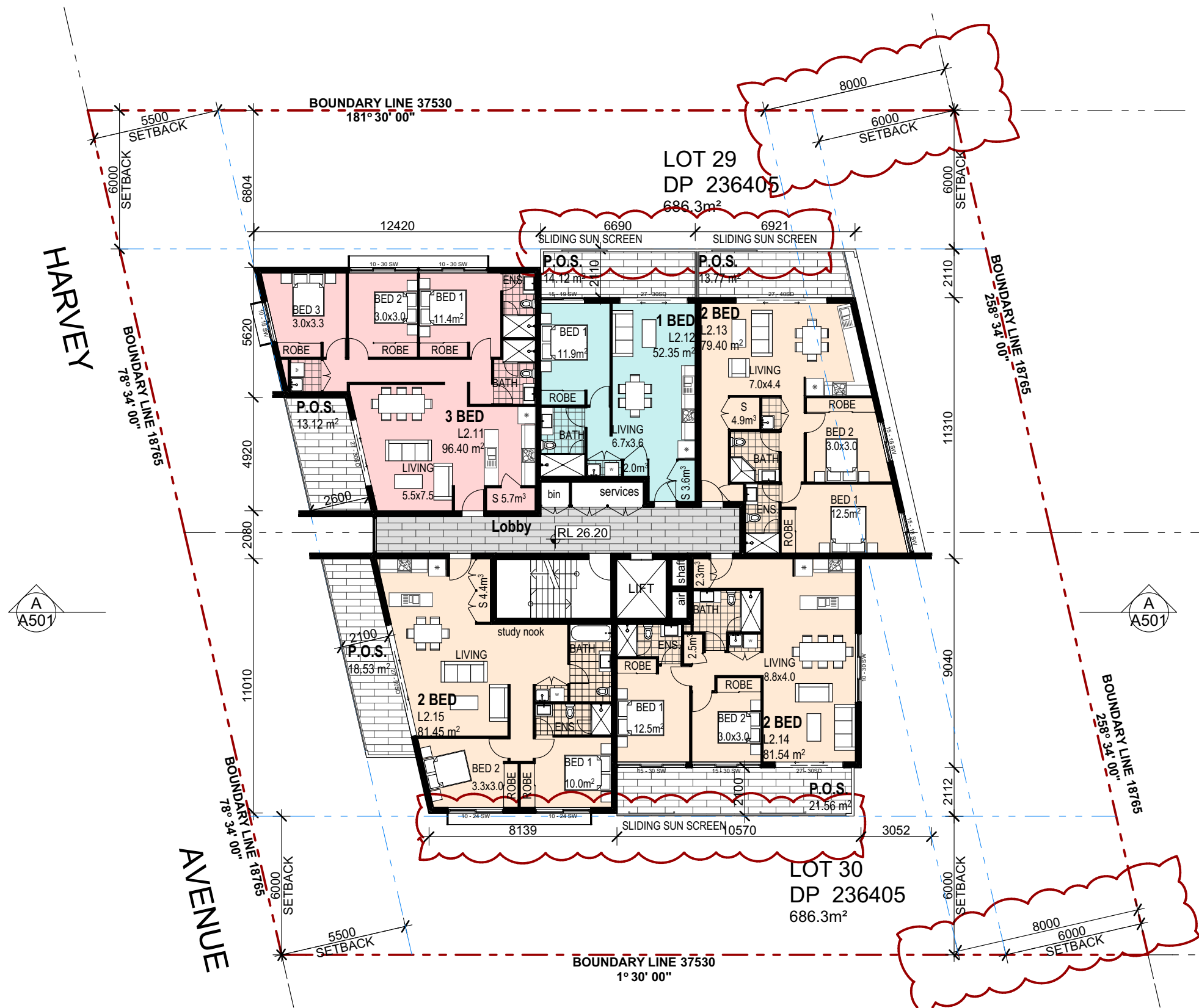
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

Title:
FLOOR PLAN

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A204	Issue B



FLOOR PLAN LEVEL 2

Scale 1:200

UNIT TYP LEGEND

1 BEDROOM 2 BEDROOM 3 BEDROOM

Project Address: 19-21 Harvey Ave, Moorebank NSW 2170				
Building Elements		Material		Detail
External walls		75mm Hebel + Stud + Insulation + Plasterboard		R1.5 Bulk Insulation
Internal walls within units		Plasterboard on studs		-
Common walls between Units		Hebel + Stud + Plasterboard		-
Common walls between Units & Lobby		Hebel + Stud + Plasterboard		-
Common walls between Units & Fire Stairs/lift Shaft		200mm Concrete+ Furring Channel + Insulation + Plasterboard		R1.5 Bulk Insulation
Ceilings		Plasterboard		-
Roof – Units 3.18 & 3.19		Concrete – insulation to concrete exposed to external environment		R1.0 Bulk Insulation
Top Floor Roof		Concrete		R2.5 Bulk Insulation
Floors		Concrete		-
Windows		Aluminium framed, single glazed clear – Sliding Windows / Doors		U value 6.70 or less and a SHGC of 0.70 +/- 10%
<i>Lighting: These Units must use non ventilated LED downlights as per Individual NatHERS Certificates if proposed</i>				
<i>Bathroom / Ensuite / Laundry exhaust fans to have self-closing dampers</i>				
<i>Insulation should be installed with due consideration of condensation & associated interaction with adjoining building materials</i>				
BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	3 star(>6 but<=7.5L/min)	4 star	5 star	6 star
Appliances:	Dishwashers - 4.5 star water rating			
ENERGY		Hot water system: Central Gas Instantaneous – Refer to approved BASIX		
		Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off		
		Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off		
		Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off		
<u>REFER TO APPROVED BASIX</u>		Cooling system: air-conditioning 1 Phase – EER 2.5 – 3.0 – Refer to BASIX		
		Heating system: air-conditioning 1Phase – EER 2.5 – 3.0 – Refer to BASIX		
		Artificial lighting: As per BASIX		
		Natural lighting: As per BASIX		
		Appliances:		
		Gas cooktop & electric oven		
		Dishwashers: 2.5 star energy rating		
COMMON AREAS		<u>Refer to approved BASIX cert</u>		

6.3

Average star rating

NATIONWIDE HOUSE

ENERGY RATING SCHEME

www.nathers.gov.au

Certificate no.: 0002739770

Assessor Name: Thomas Ruck

Accreditation no.: VIC/BDV/12/1456

Certificate date: 14 May 2018

Dwelling Address: 19-21 Harvey Ave
Moorebank, NSW
2170

www.nathers.gov.au

QR Code

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:

- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- 2) Levels shown are approximate unless accompanied by reduced levels.
- 3) Figured dimensions must be taken in preference to scaling.
- 4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
- 5) Where engineering drawings are required such must take preference to this drawing.
- 6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
- 7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT: This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

Consultants

VILLA+VILLA

ARCHITECTURE+INTERIORS+GRAPHICS

LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000

P: 61 2 9247 7667 ABN: 27 085 744 958

www.villaandvilla.com.au

© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES

PTY. LTD.

Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170

P.O. Box 895, Liverpool Business Centre, NSW 1871

t 9608 3133 / 9602 0303 f 9601 6903

e admin@algorryzappia.com.au

w www.algorryzappia.com.au

ABN 43 064 952 692

Project

PROPOSED RESIDENTIAL DEVELOPMENT

LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue

MOOREBANK

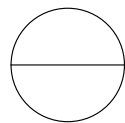
Client


ANDREW HASTIE

Title

FLOOR PLAN

Drawn	Checked	Date
DR	CZ	JAN. 2017
Activity Type	Job #	Scale @ A3
DA	2194-16	AS SHOWN
Project #	Sheet #	Issue
P4882	A205	B





6.3

Average star rating

NATIONWIDE
HOUSE
ENERGY RATING SCHEME

www.nathers.gov.au


Certificate no.: 0002739770

Assessor Name: Thomas Ruck

Accreditation no: VIC/BDV/12/1456

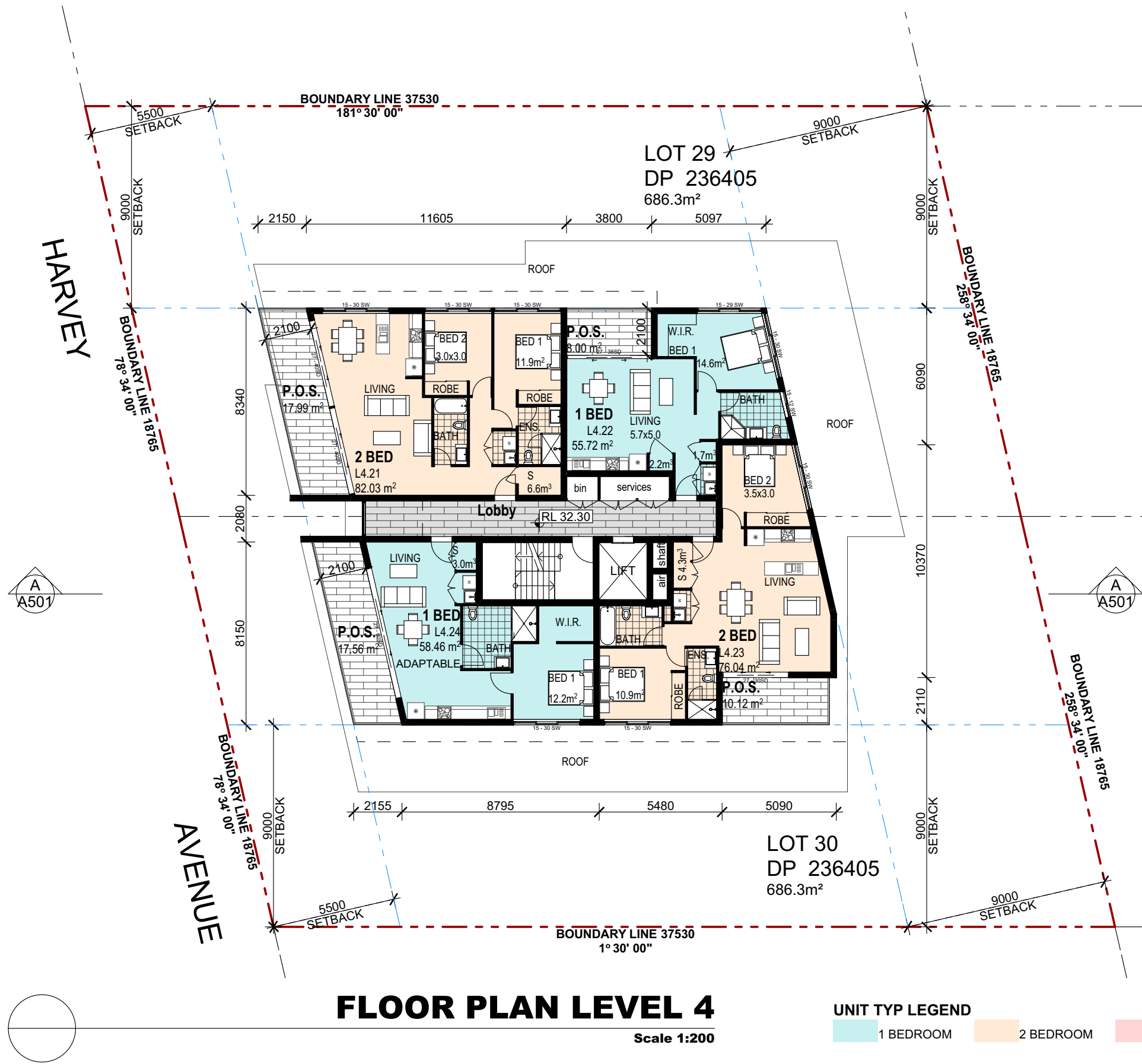
Certificate date: 14 May 2018

Dwelling Address:
19-21 Harvey Ave
Moorebank, NSW
2170

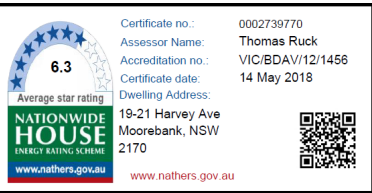


www.nathers.gov.au

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A206	Issue B



Project Address: 19-21 Harvey Ave, Moorebank NSW 2170				
Building Elements	Material	Detail		
External walls	75mm Hebel + Stud + Insulation + Plasterboard	R1.5 Bulk Insulation		
Internal walls within units	Plasterboard on studs	-		
Common walls between Units	Hebel + Stud + Plasterboard	-		
Common walls between Units & Lobby	Hebel + Stud + Plasterboard	-		
Common walls between Units & Fire Stairs/lift Shaft	200mm Concrete+ Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation		
Ceilings	Plasterboard	-		
Roof – Units 3.18 & 3.19	Concrete – insulation to concrete exposed to external environment	R1.0 Bulk Insulation		
Top Floor Roof	Concrete	R2.5 Bulk Insulation		
Floors	Concrete	-		
Windows	Aluminium framed, single glazed clear – Sliding Windows / Doors	U value 6.70 or less and a SHGC of 0.70 +/- 10%		
<i>Lighting: These Units must use non ventilated LED downlights as per Individual NatHERS Certificates if proposed</i>				
<i>Bathroom / Ensuite / Laundry exhaust fans to have self-closing dampers</i>				
<i>Insulation should be installed with due consideration of condensation & associated interaction with adjoining building materials</i>				
BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	3 star(>6 but<=7.5L/min)	4 star	5 star	6 star
Appliances:	Dishwashers - 4.5 star water rating			
ENERGY				
Hot water system: Central Gas Instantaneous – Refer to approved BASIX				
Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off				
Cooling system: air-conditioning 1 Phase – EER 2.5 – 3.0 – Refer to BASIX				
Heating system: air-conditioning 1Phase – EER 2.5 – 3.0 – Refer to BASIX				
Artificial lighting: As per BASIX				
Natural lighting: As per BASIX				
Appliances:				
Gas cooktop & electric oven				
Dishwashers: 2.5 star energy rating				
Refer to approved BASIX cert				
COMMON AREAS				

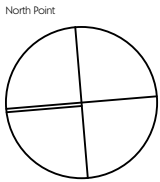


Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:

- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- 2) Levels shown are approximate unless accompanied by reduced levels.
- 3) Figured dimensions must be taken in preference to scaling.
- 4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
- 5) Where engineering drawings are required such must take preference to this drawing.
- 6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
- 7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT: This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algotry Zappia & Associates Pty Ltd.



Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS

LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au

© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGOTRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algotryzappia.com.au
w www.algotryzappia.com.au

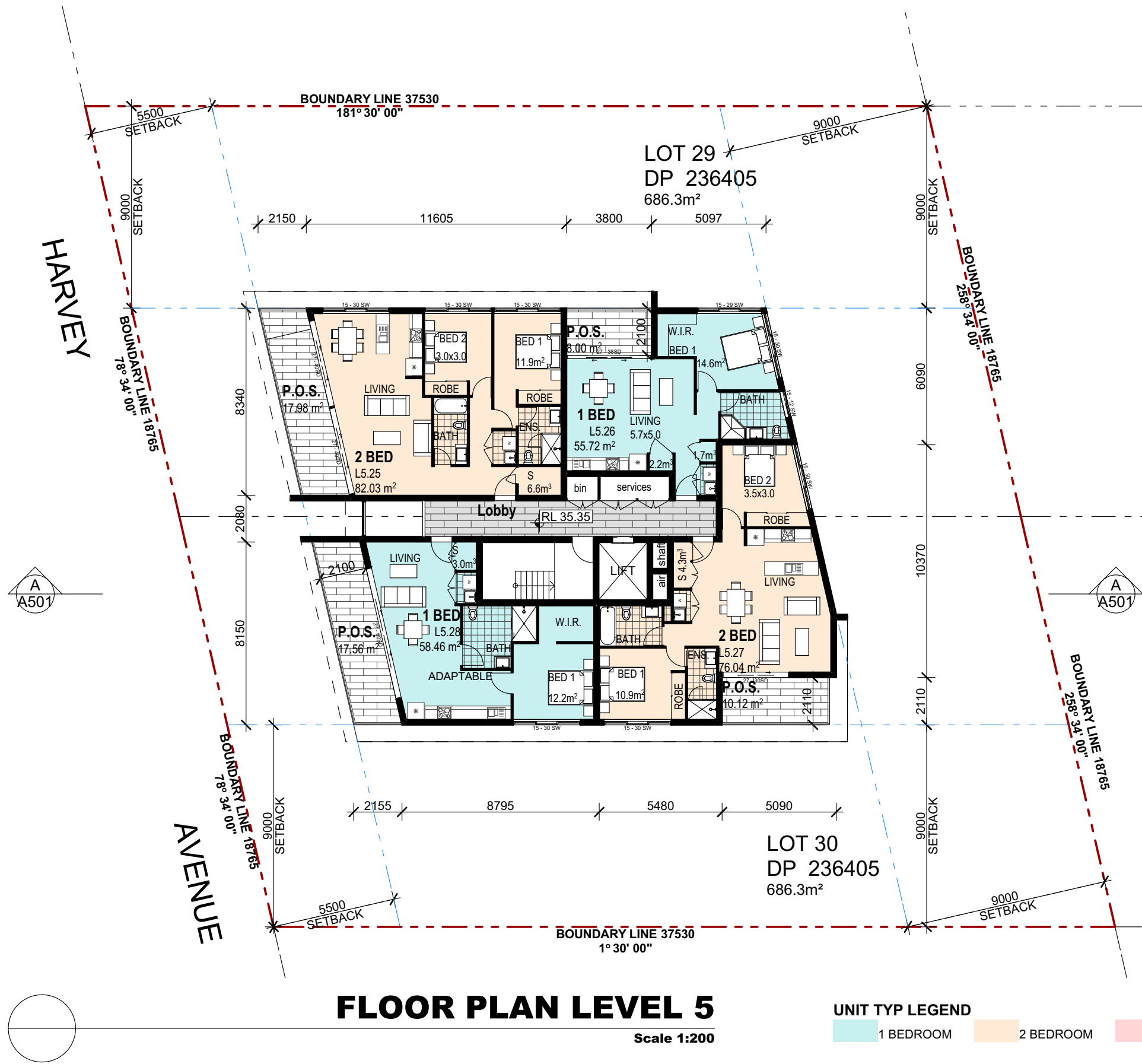
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

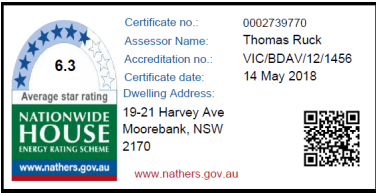
Client:
ANDREW HASTIE

Title:
FLOOR PLAN

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A207	Issue B



Project Address: 19-21 Harvey Ave, Moorebank NSW 2170				
Building Elements	Material	Detail		
External walls	75mm Hebel + Stud + Insulation + Plasterboard	R1.5 Bulk Insulation		
Internal walls within units	Plasterboard on studs	-		
Common walls between Units	Hebel + Stud + Plasterboard	-		
Common walls between Units & Lobby	Hebel + Stud + Plasterboard	-		
Common walls between Units & Fire Stairs/lift Shaft	200mm Concrete+ Furring Channel + Insulation + Plasterboard	R1.5 Bulk Insulation		
Ceilings	Plasterboard	-		
Roof – Units 3.18 & 3.19	Concrete – insulation to concrete exposed to external environment	R1.0 Bulk Insulation		
Top Floor Roof	Concrete	R2.5 Bulk Insulation		
Floors	Concrete	-		
Windows	Aluminium framed, single glazed clear – Sliding Windows / Doors	U value 6.70 or less and a SHGC of 0.70 +/- 10%		
<i>Lighting: These Units must use non ventilated LED downlights as per Individual NatHERS Certificates if proposed</i>				
<i>Bathroom / Ensuite / Laundry exhaust fans to have self-closing dampers</i>				
<i>Insulation should be installed with due consideration of condensation & associated interaction with adjoining building materials</i>				
BASIX COMMITMENTS NOTES				
* TO BE READ IN CONJUNCTION WITH APPROVED BASIX REPORT*				
WATER				
Fixtures	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
	3 star(>6 but<=7.5L/min)	4 star	5 star	6 star
Appliances:	Dishwashers - 4.5 star water rating			
ENERGY				
	Hot water system: Central Gas Instantaneous – Refer to approved BASIX			
	Bathroom ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to façade or roof manual switch on/off			
<u>REFER TO APPROVED BASIX</u>	Cooling system: air-conditioning 1 Phase – EER 2.5 – 3.0 – Refer to BASIX			
	Heating system: air-conditioning 1Phase – EER 2.5 – 3.0 – Refer to BASIX			
	Artificial lighting: As per BASIX			
	Natural lighting: As per BASIX			
	Appliances: Gas cooktop & electric oven Dishwashers: 2.5 star energy rating			
COMMON AREAS	<u>Refer to approved BASIX cert</u>			

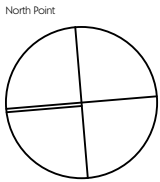


Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:

- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- 2) Levels shown are approximate unless accompanied by reduced levels.
- 3) Figured dimensions must be taken in preference to scaling.
- 4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
- 5) Where engineering drawings are required such must take preference to this drawing.
- 6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
- 7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS

LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au

© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

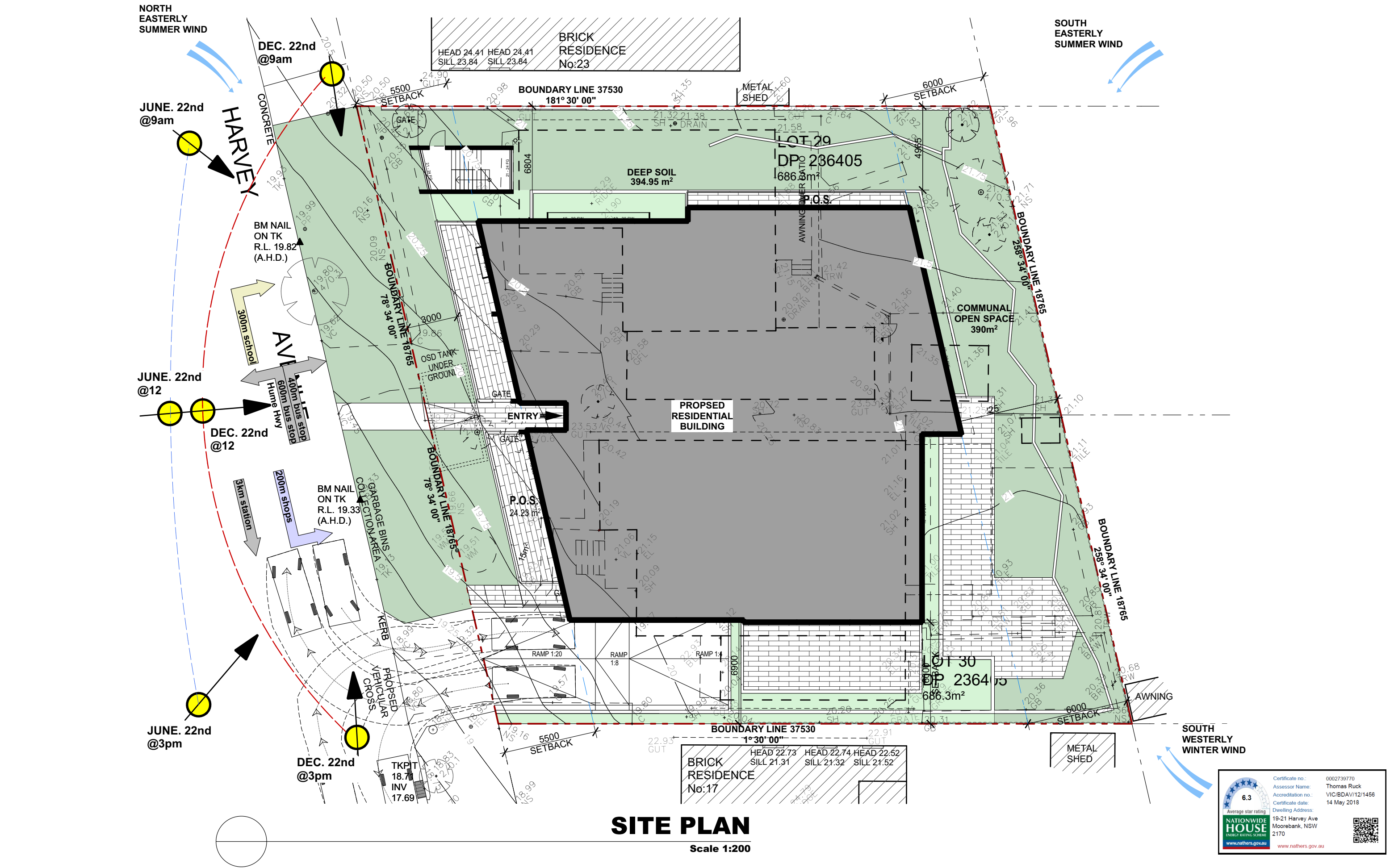
ABN 43 064 952 692


Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

Title:
FLOOR PLAN

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A208	Issue B





Average star rating
6.3

Certificate no.: 0002739770
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 14 May 2018
Dwelling Address: 19-21 Harvey Ave
Moorebank, NSW 2170



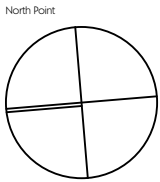
www.nathers.gov.au

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:

- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- 2) Levels shown are approximate unless accompanied by reduced levels.
- 3) Figured dimensions must be taken in preference to scaling.
- 4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
- 5) Where engineering drawings are required such must take preference to this drawing.
- 6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
- 7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT: This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.





VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS

LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au

© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.

Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

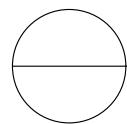
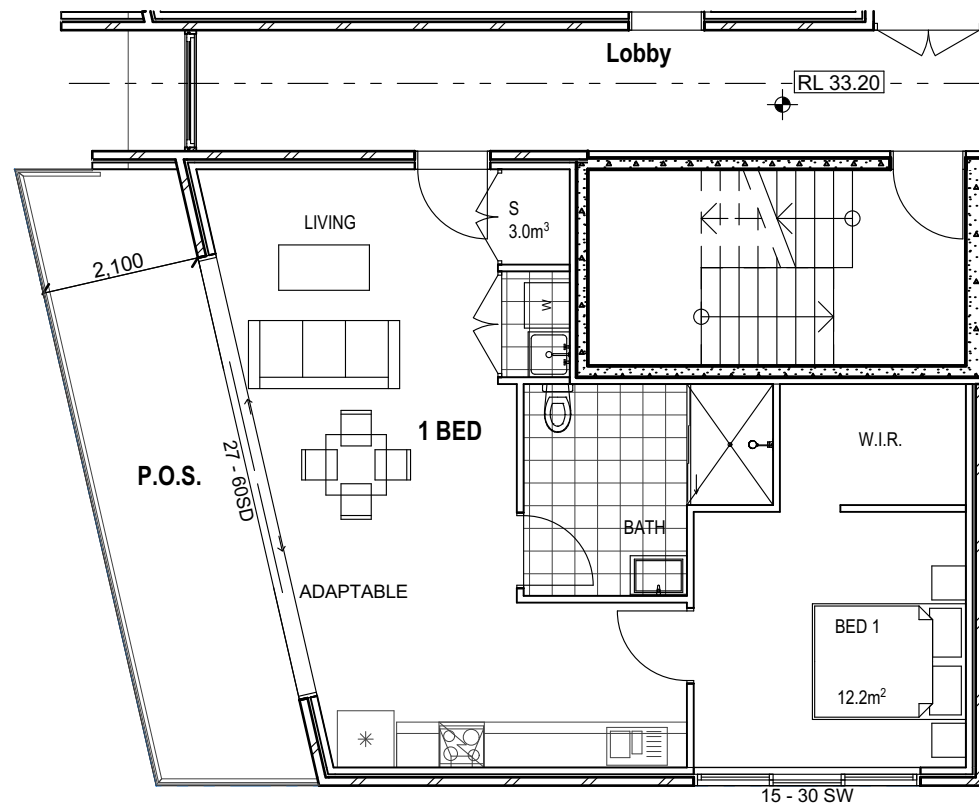
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

Title:
SITE ANALYSIS

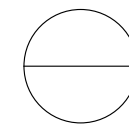
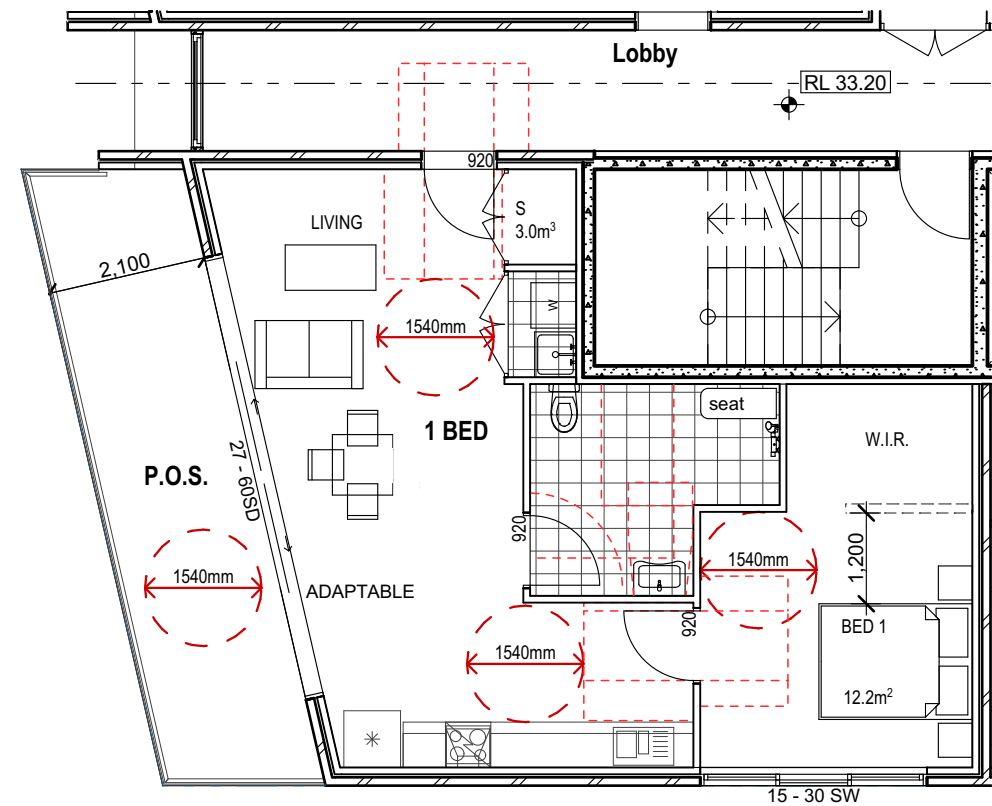
Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A109	Issue C



PRE-ADAPTATION UNIT

ADAPTABLE UNITS: L4.24 - L5.28

1:100



POST-ADAPTATION UNIT

ADAPTABLE UNITS: L4.24 - L5.28

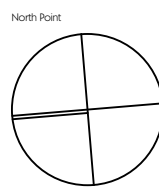
1:100

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ

General Notes:

- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- 2) Levels shown are approximate unless accompanied by reduced levels.
- 3) Figured dimensions must be taken in preference to scaling.
- 4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
- 5) Where engineering drawings are required such must take preference to this drawing.
- 6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
- 7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Consultants

villa + villa

Level 4, 24 Hickson Rd. Millers Point NSW 20 00
T: 02 9247 7667 F: 02 9 247 7665
E: eduardo@villaandvilla.com.au Abn: 27 085 744 958
Eduardo Villa
Director / Qualified Architect.
(NSW Registration Board) Reg. No 6813

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 825, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

Title:
ADAPTABLE UNITS LAYOUT

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A301	Issue A



NORTH ELEVATION

Scale 1:200



EAST ELEVATION

Scale 1:200

1
DULUX
natural white
or similar
Paint finish to concrete
slab parapet and walls

2
DULUX
golden koi
or similar
Paint finish to Hebel wall

3
AUSTRAL
limestone or similar
Concrete block to
fence wall

VITRACORE G2
satin brown metallic
or similar
Composite cladding
to Hebel wall

5
COLORBOND
surfmist or similar
Horizontal metal slates
fence

6
lightweight
concrete panel
cladding
Lightweight concrete
composite panel
cladding to Hebel wall



Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.
COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

Consultants
VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS
LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au
© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers
a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 825, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK
Client:
ANDREW HASTIE
Title:
ELEVATIONS

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A401	Issue C



WEST ELEVATION

Scale 1:200



SOUTH ELEVATION

Scale 1:200

1 **DULUX**
natural white
or similar
Paint finish to concrete
slab parapet and walls

2 **DULUX**
golden koi
or similar
Paint finish to Hebel wall

3 **AUSTRAL**
limestone or similar
Concrete block to
fence wall

4 **VITRACORE G2**
satin brown metallic
or similar
Composite cladding
to Hebel wall

5 **COLORBOND**
surfmist or similar
Horizontal metal slates
fence

6 **lightweight**
concrete panel
cladding
Lightweight concrete
composite panel
cladding to Hebel wall



Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

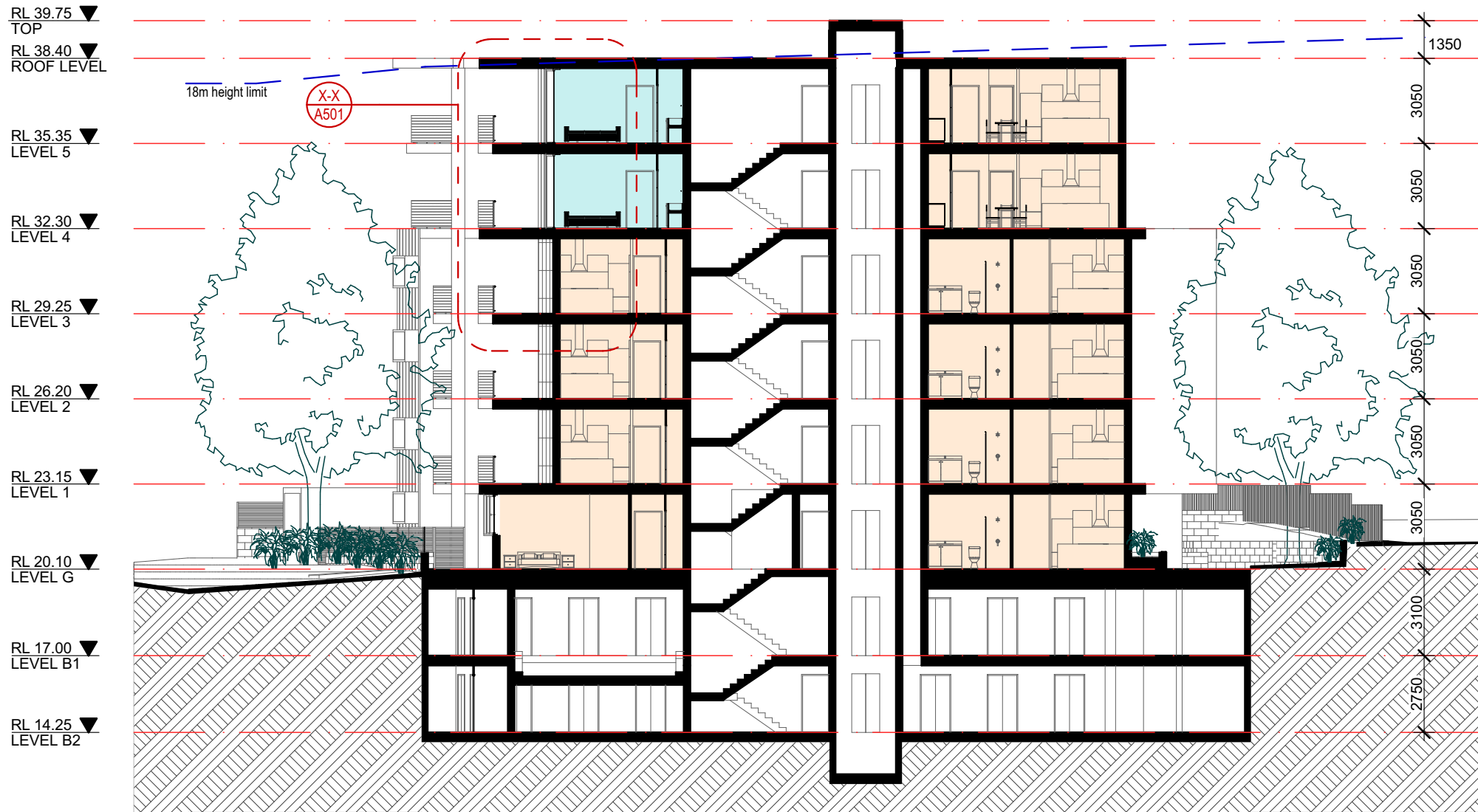
General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.
COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algotry Zappia & Associates Pty Ltd.

Consultants
VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS
LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au
© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGOTRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers
a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 825, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algotryzappia.com.au
w www.algotryzappia.com.au
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK
Client:
ANDREW HASTIE
Title:
ELEVATIONS

Drawn DR	Checked CZ	Date: JAN. 2017
Activity Type: DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A402	Issue: C

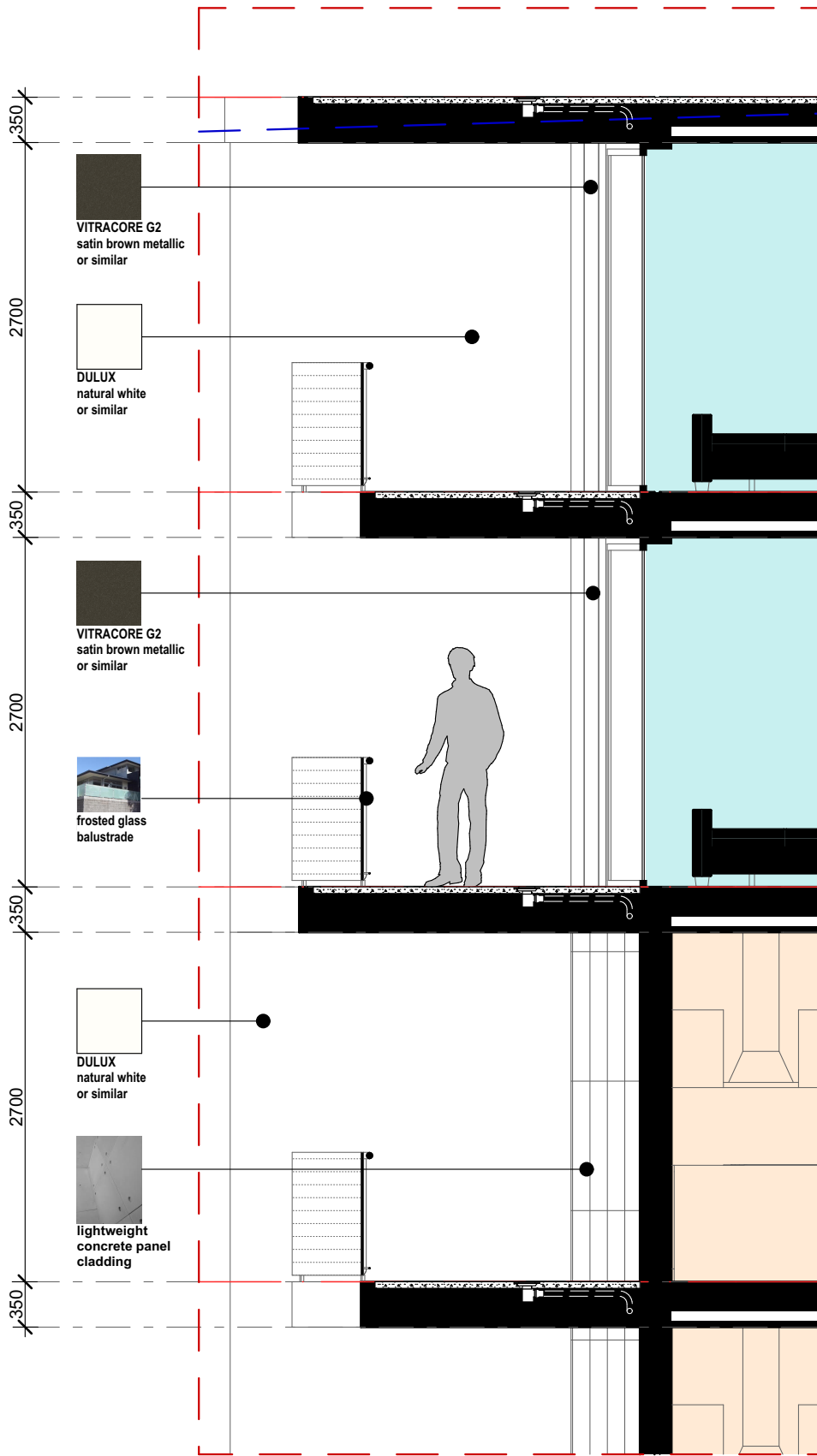


SECTION A-A

Scale 1:200

UNIT TYP LEGEND

1 BEDROOM 2 BEDROOM 3 BEDROOM



DETAIL SECTION X-X

Scale 1:50

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

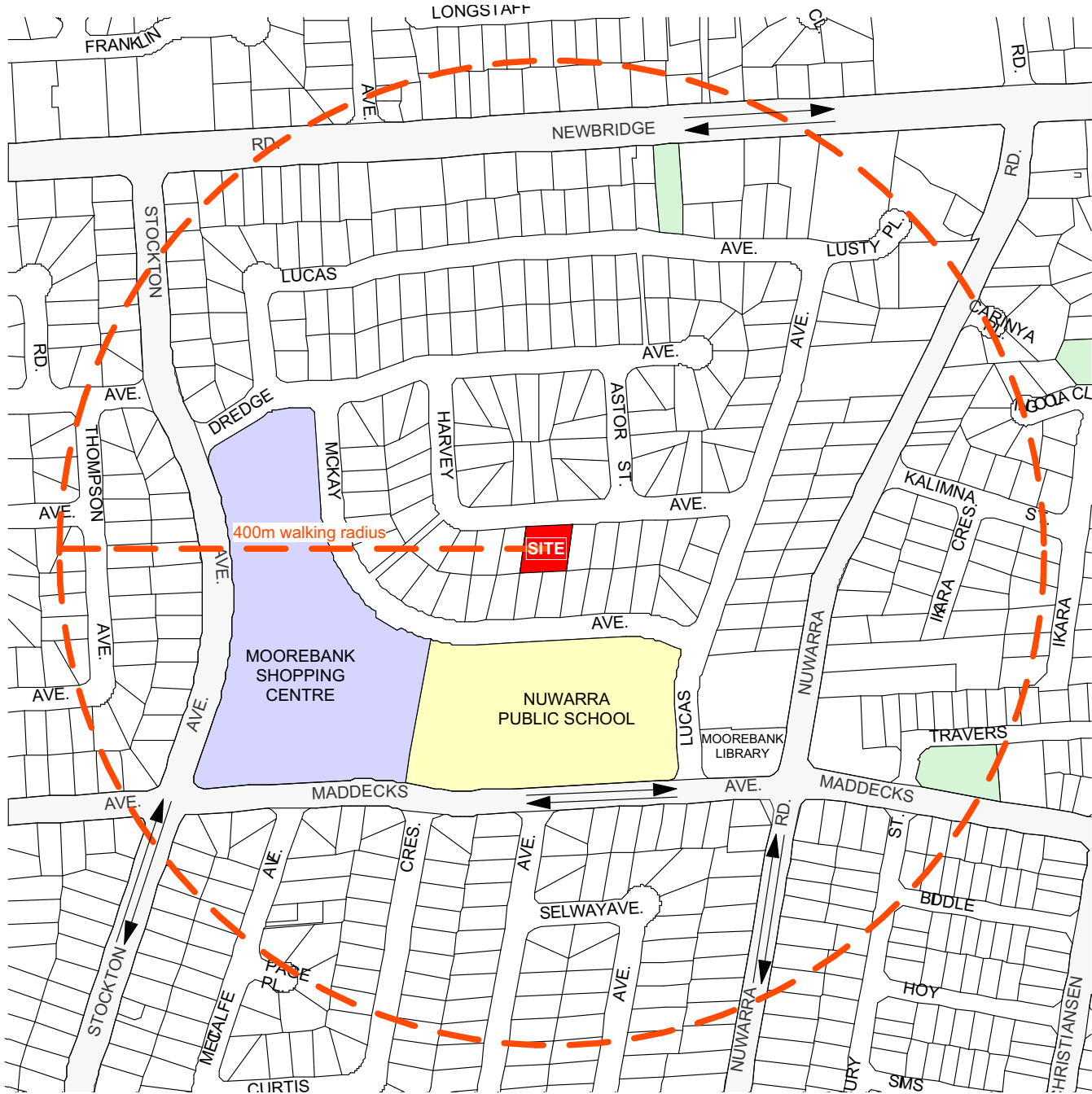
General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.
COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algotry Zappia & Associates Pty Ltd.

Consultants
VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS
LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au
© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGOTRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers
a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algotryzappia.com.au
w www.algotryzappia.com.au
ABN 43 064 952 692

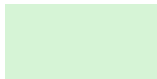
Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK
Client:
ANDREW HASTIE
Title:
SECTION & DETAIL

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A501	Issue C

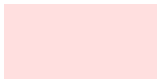


LOCAL CONTEXT PLAN

Scale 1:5000



PUBLIC OPEN SPACES



PUBLIC HOSPITAL



TRAIN STATIONS



SHOPPING CENTRE



EDUCATIONAL PLACES



PROPOSED DEVELOPMENT PROPERTY



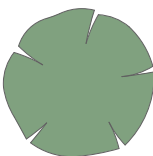
PROPOSED VEHICULAR CROSSING



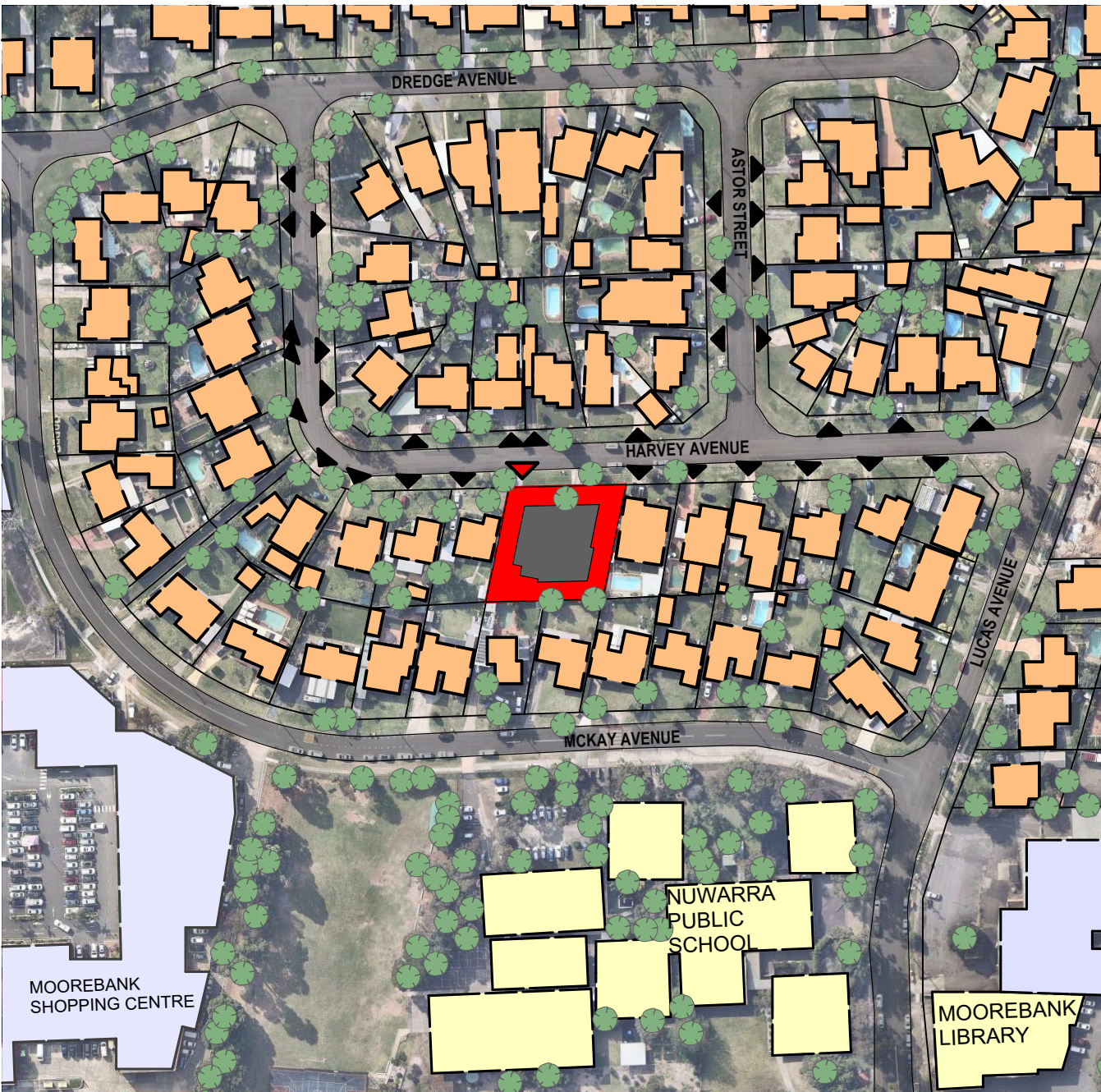
EXISTING RESIDENTIAL BUILDINGS



EXISTING VEHICULAR CROSSING



EXISTING STREET TREES



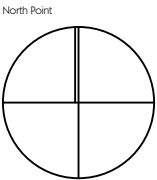
NEIGHBOURHOOD CONTEXT PLAN

Scale 1:2000

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA	27.06.2017	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Consultants

villa + villa

Level 4, 24 Hickson Rd. Millers Point NSW 20 00
T: 02 9247 7667 F: 02 9 247 7665
E: eduardo@villaandvilla.com.au Abn: 27 085 744 958
Eduardo Villa
Director / Qualified Architect.
(NSW Registration Board) Reg. No 6813

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 825, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

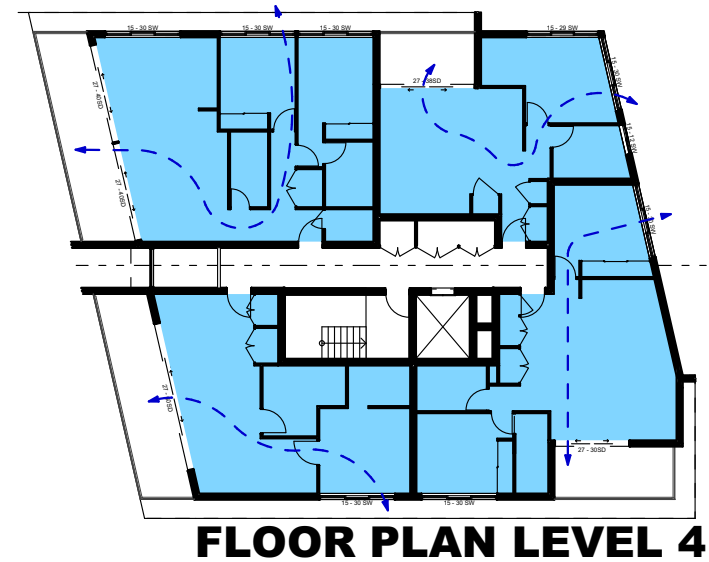
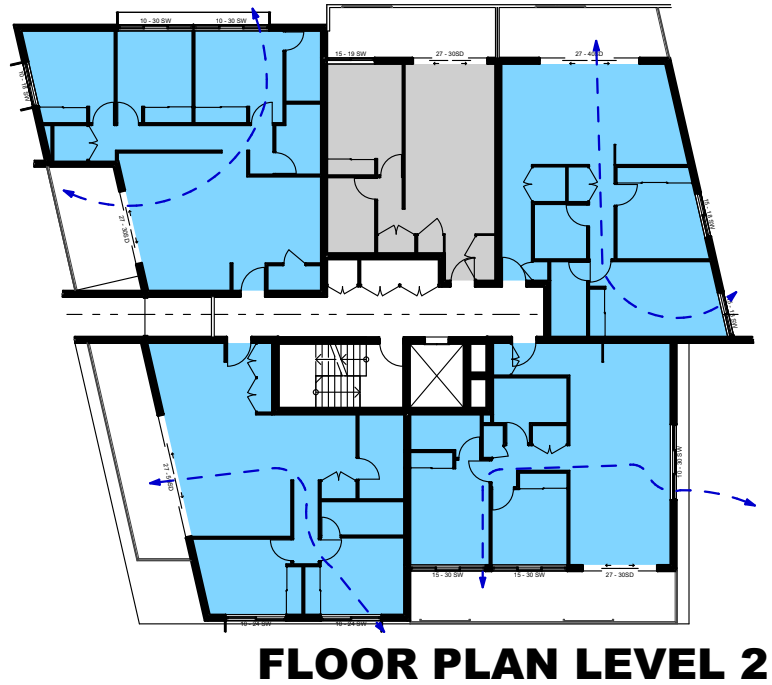
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

Title:
URBAN SITE ANALYSIS

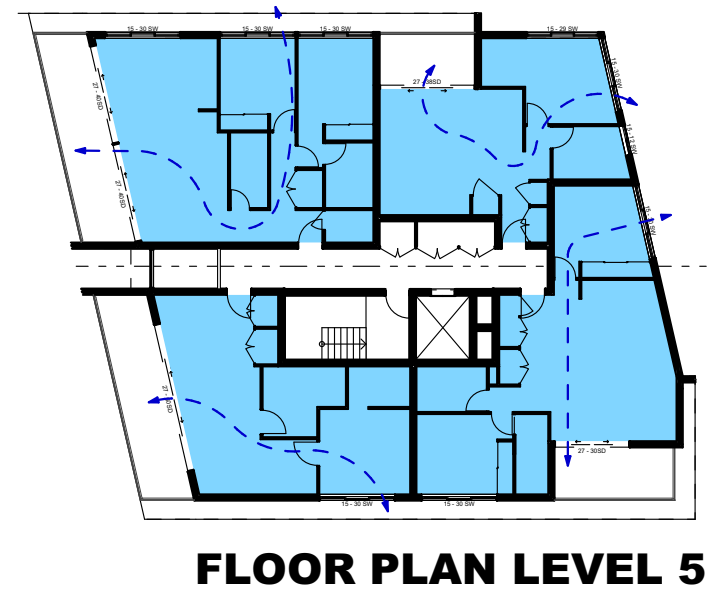
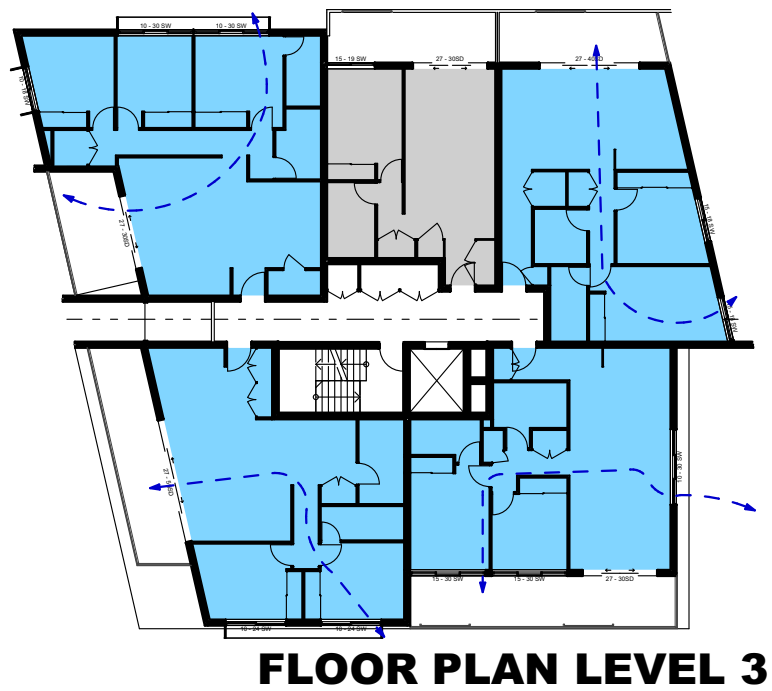
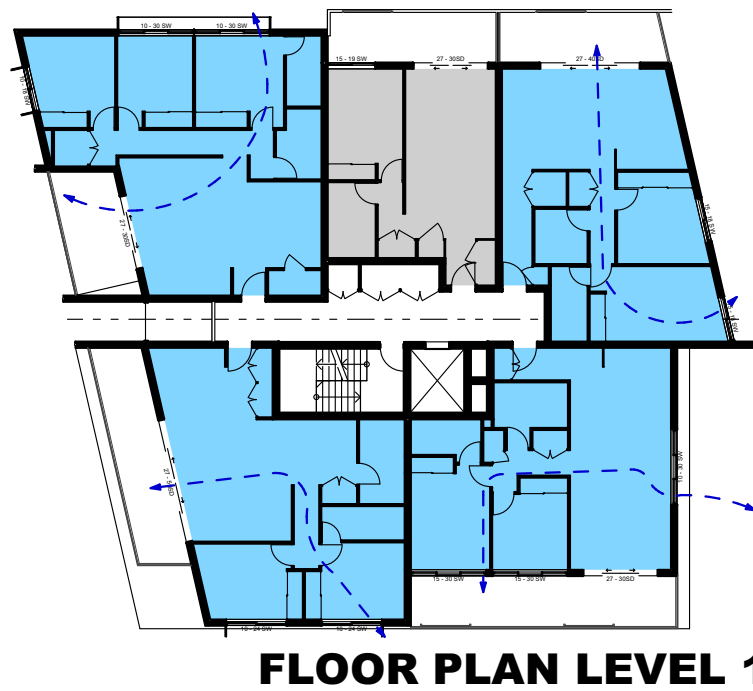
Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A102	Issue A



LEGEND

CROSS VENTILATED

NOT VENTILATED



SEPP 65 - OBJECTIVE 4B-3

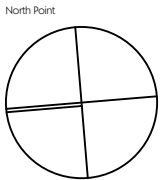
At least **60%** of apartments are naturally cross ventilated in the **first nine storeys** of the building.
Apartments at ten storeys or greater are deemed to be cross ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed.

TOTAL APARTMENTS 28
CROSS VENTILATED 24 apt. = 86%

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Consultants

VILLA+VILLA

ARCHITECTURE+INTERIORS+GRAPHICS

LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au

© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.

Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 825, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

ABN 43 064 952 692

Project

PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client

ANDREW HASTIE

Title

CROSS VENTILATION STUDY

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A302	Issue B



NORTH ELEVATION
Scale 1:200



EAST ELEVATION
Scale 1:200

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.
COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

Consultants
VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS
LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au
© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers
a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 825, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK
Client:
ANDREW HASTIE
Title:
NOTIFIATION PLAN - ELEVATIONS

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A702	Issue C



 **WEST ELEVATION**
Scale 1:200



 **SOUTH ELEVATION**
Scale 1:200

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS
LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au
© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

Title:
NOTIFICATION PLAN - ELEVATIONS

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A703	Issue C



NORTH ELEVATION
Scale 1:200



EAST ELEVATION
Scale 1:200

6.3
Average star rating
NATIONWIDE HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

Certificate no.: 0002739770
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 14 May 2018
Dwelling Address: 19-21 Harvey Ave
Moorebank, NSW 2170

www.nathers.gov.au

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents are subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS
LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au
© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 825, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

Title:
NOTIFIATION PLAN - ELEVATIONS

Drawn DR	Checked CZ	Date: JAN. 2017
Activity Type: DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A702	Issue: C



WEST ELEVATION
Scale 1:200



SOUTH ELEVATION
Scale 1:200

6.3
Average star rating
NATIONWIDE HOUSE
ENERGY RATING SCHEME
www.nathers.gov.au

Certificate no.: 0002739770
Assessor Name: Thomas Ruck
Accreditation no.: VIC/BDV/12/1456
Certificate date: 14 May 2018
Dwelling Address: 19-21 Harvey Ave
Moorebank, NSW 2170

www.nathers.gov.au

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS
LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au
© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

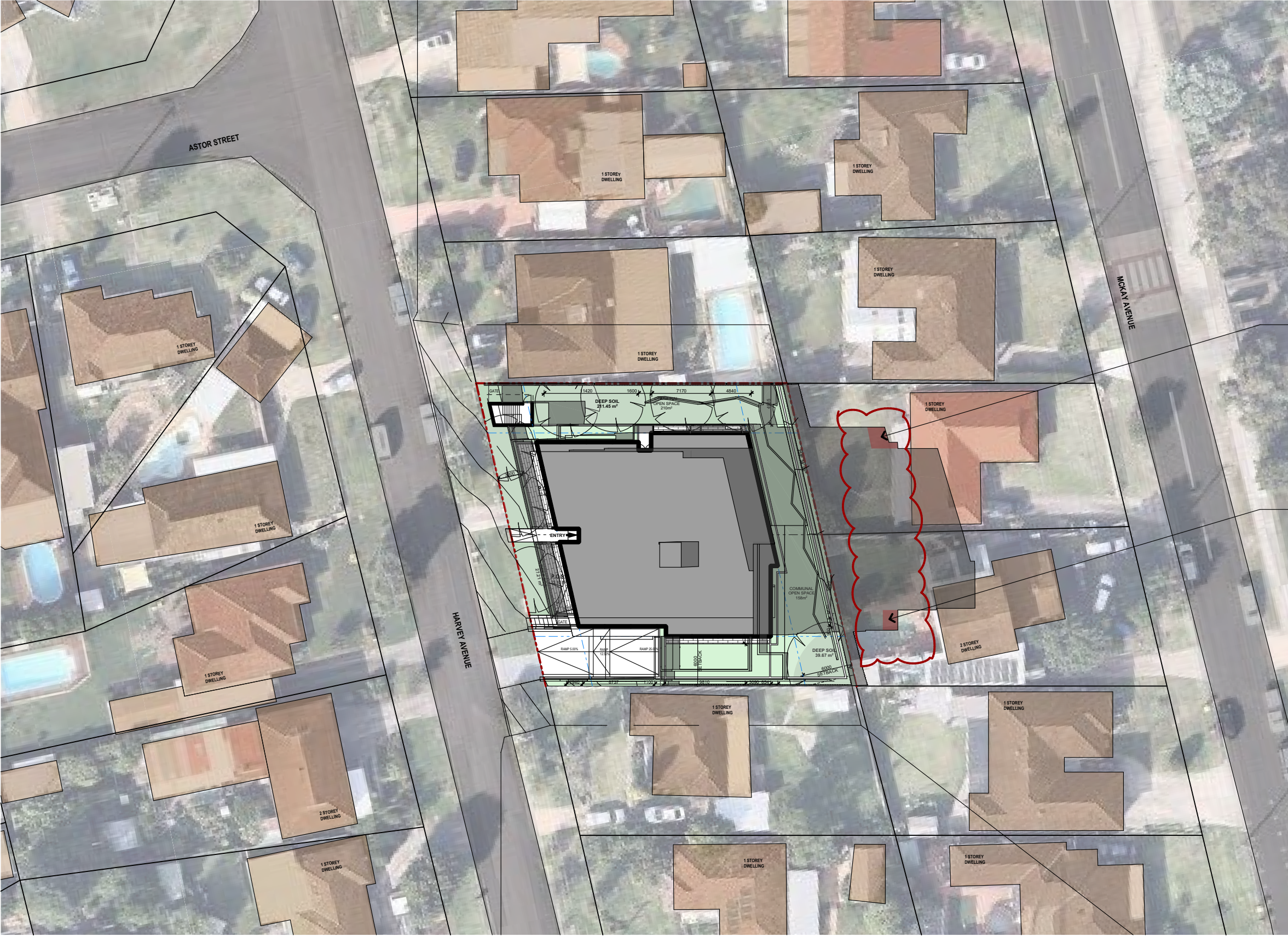
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

Title:
NOTIFICATION PLAN - ELEVATIONS

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A703	Issue C



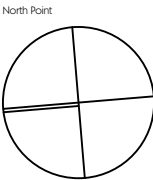
SHADOW GENERATED
WITH 6m REAR SETBACK

SHADOW GENERATED
WITH 6m REAR SETBACK

SHADOW DIAGRAM - Jun-21-12noon
1:500

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.
COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Consultants
VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS
LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au
© COPYRIGHT VILLA AND VILLA PTY LTD 2017

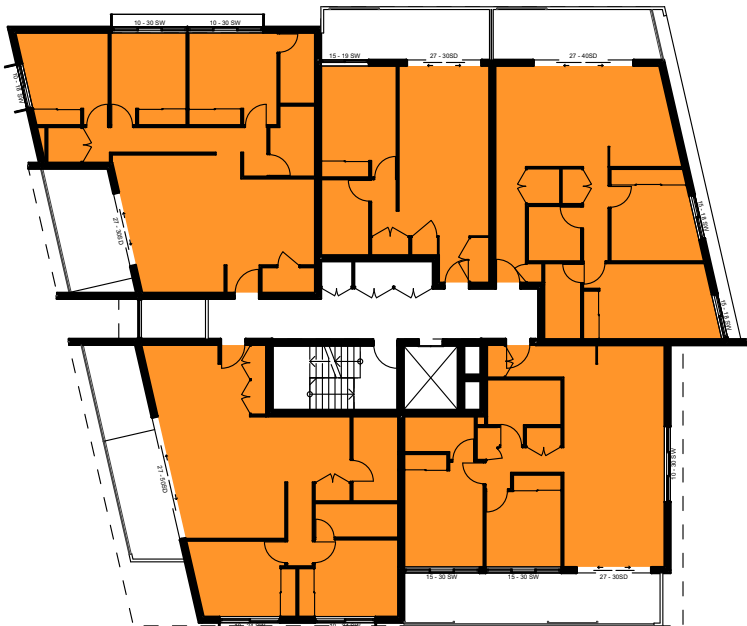
ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers
a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK
Client:
ANDREW HASTIE
Title:
SHADOW DIAGRAM

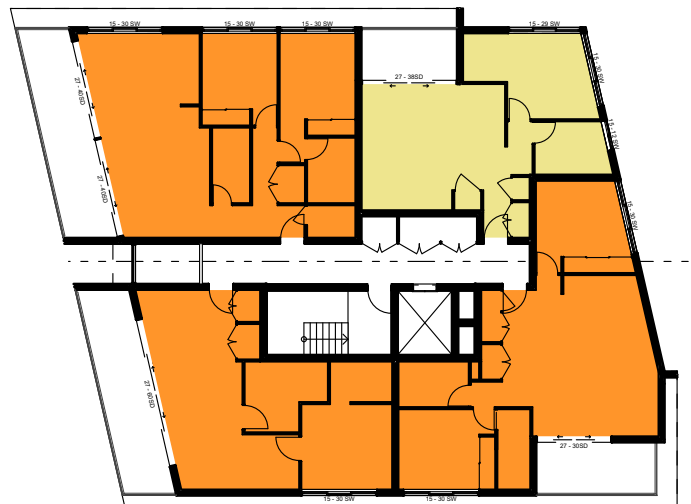
Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A105	Issue C



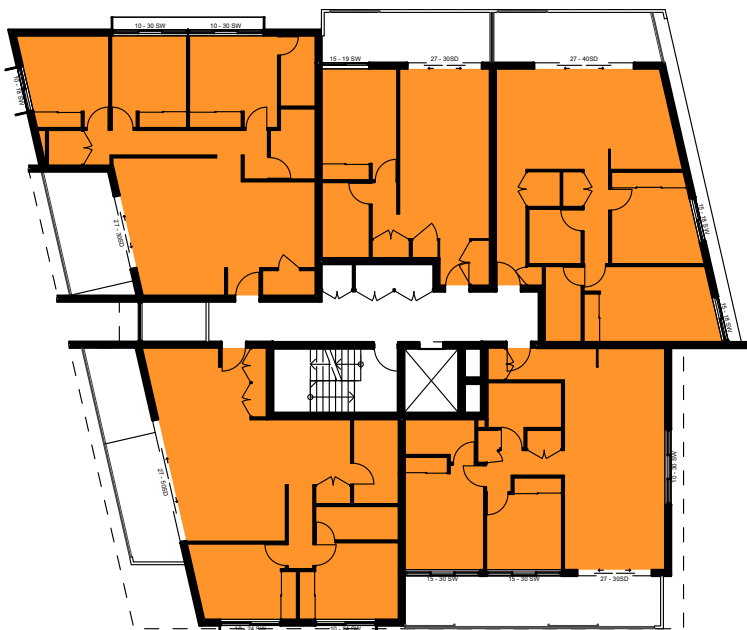
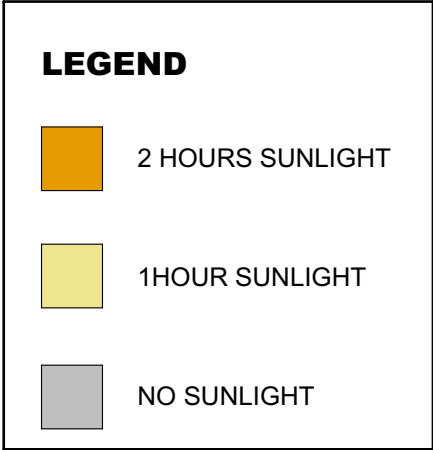
GROUND FLOOR PLAN



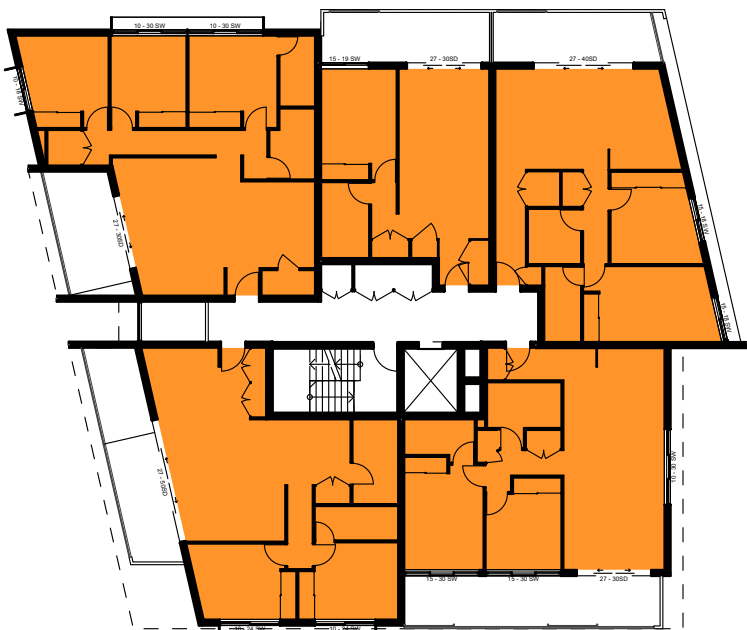
FLOOR PLAN LEVEL 2



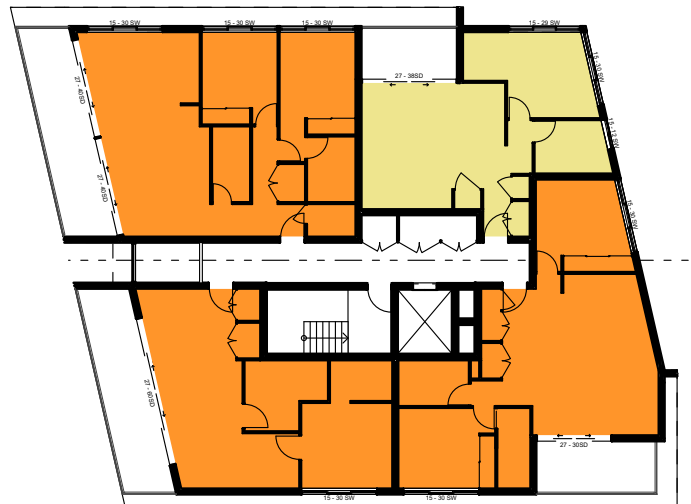
FLOOR PLAN LEVEL 4



FLOOR PLAN LEVEL 1



FLOOR PLAN LEVEL 3



FLOOR PLAN LEVEL 5

SEPP 65 - OBJECTIVE 4A-1

1. Living rooms and private open spaces of at least **70%** of apartments in a building receive a minimum of 2 hours direct sunlight between 9 am and 3 pm at mid winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas.

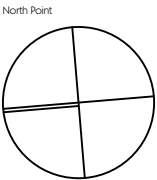
3. A maximum of 15% of apartments in a building receive no direct sunlight between 9 am and 3 pm at mid winter.

TOTAL APARTMENTS	28
2 HOURS SUNLIGHT	26 apt. = 93%
NO SUNLIGHT	0 apt. = 0%

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algormy Zappia & Associates Pty Ltd.



Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS

LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au

© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORMY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algormyzappia.com.au
w www.algormyzappia.com.au

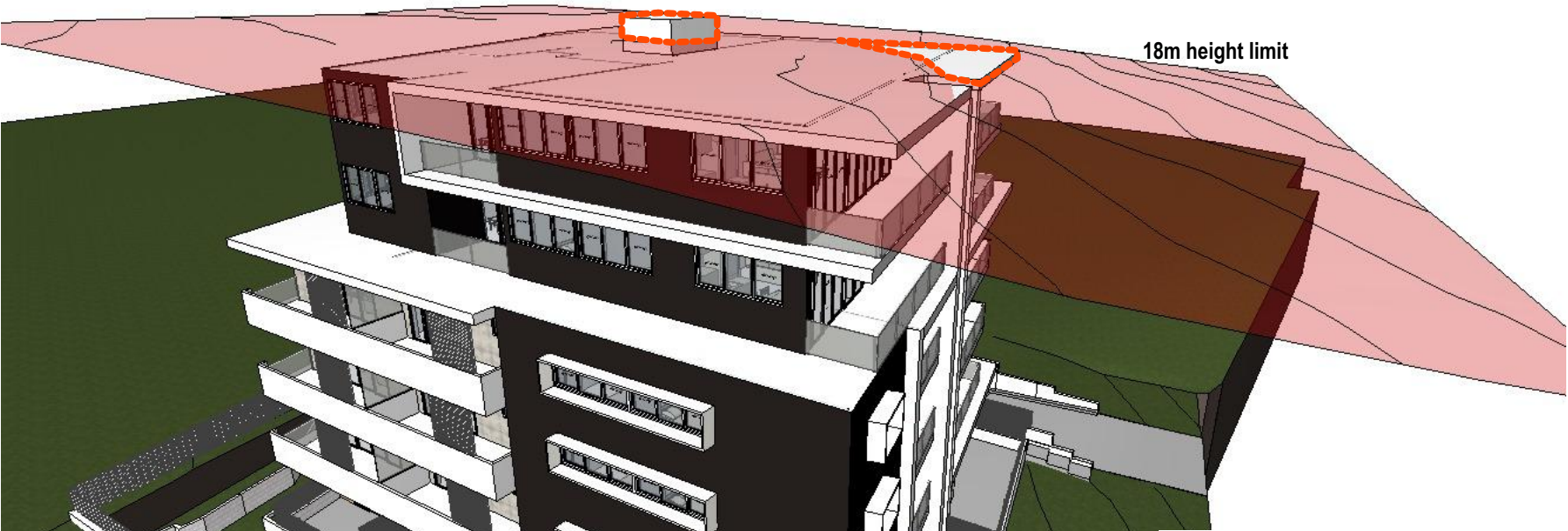
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

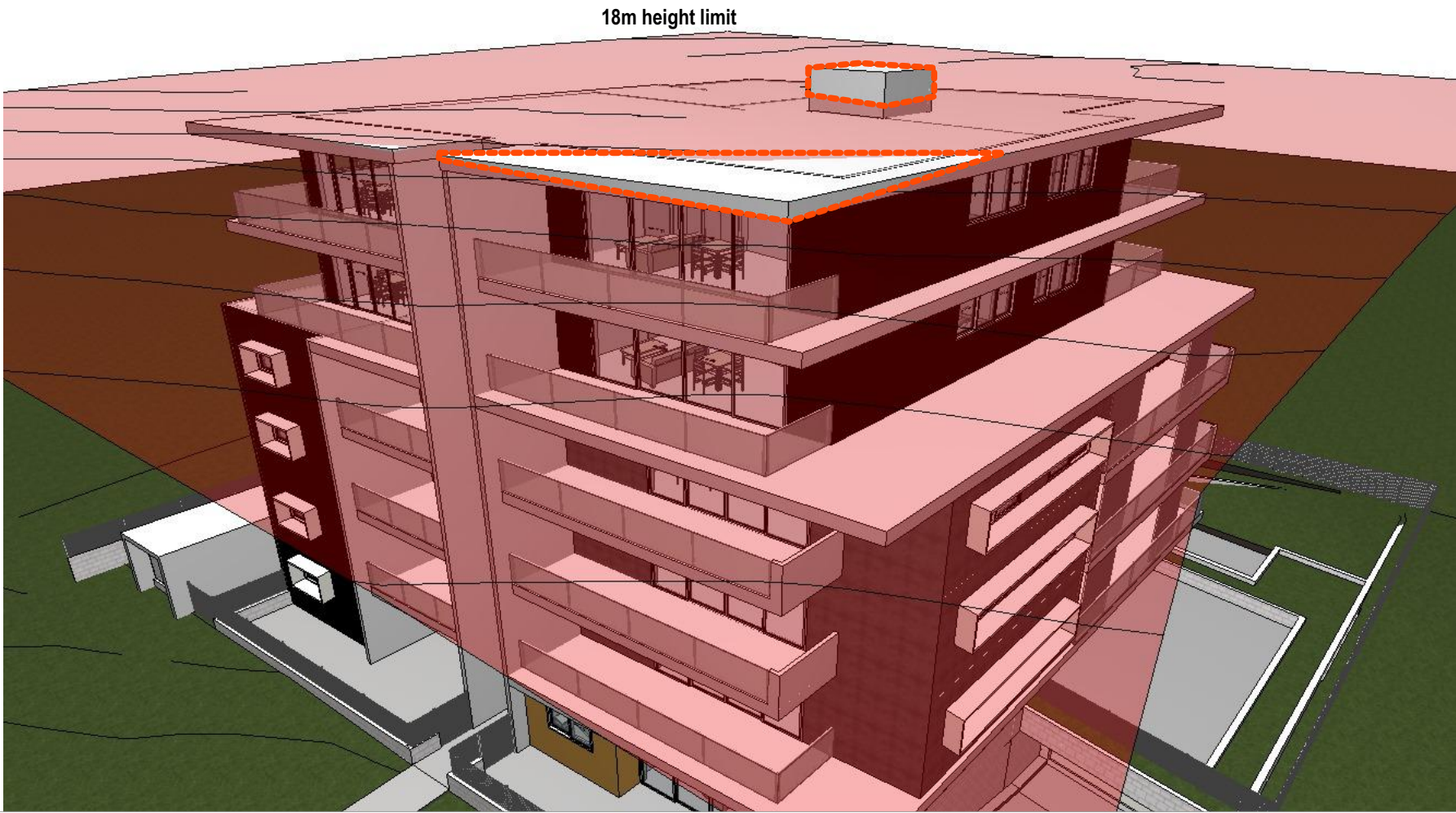
Client:
ANDREW HASTIE

Title:
SUNLIGHT ACCESS STUDY

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A303	Issue B



18m height limit



18m height limit

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:

- 1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
- 2) Levels shown are approximate unless accompanied by reduced levels.
- 3) Figured dimensions must be taken in preference to scaling.
- 4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
- 5) Where engineering drawings are required such must take preference to this drawing.
- 6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
- 7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.

Consultants

VILLA+VILLA
ARCHITECTURE•INTERIORS•GRAPHICS

LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au

© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

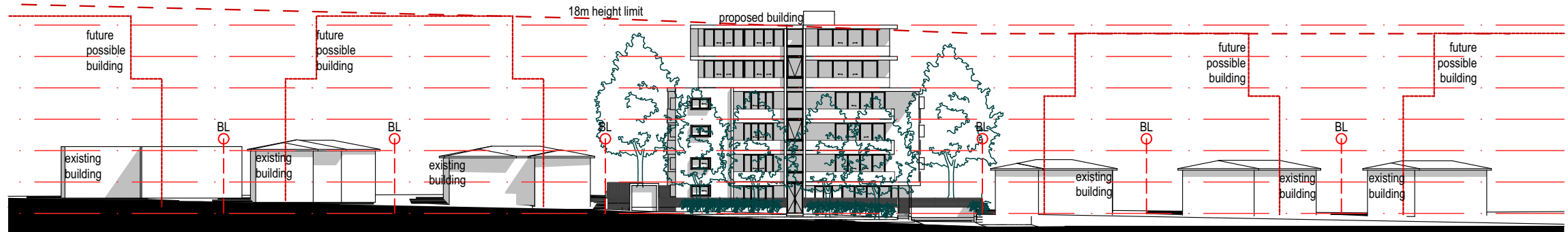
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

Title:
HEIGHT MAX BREACHING

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A403	Issue C



HARVEY AVENUE STREETScape

FUTURE CHARACTER DESIGN

Scale 1:500



SITE CONTEXT PLAN

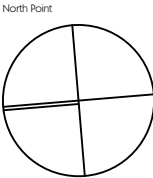
FUTURE CHARACTER DESIGN

Scale 1:1000

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ
B	ISSUED FOR DA.	18.08.2017	DR	CZ
C	ISSUED FOR DA.	11.05.2018	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



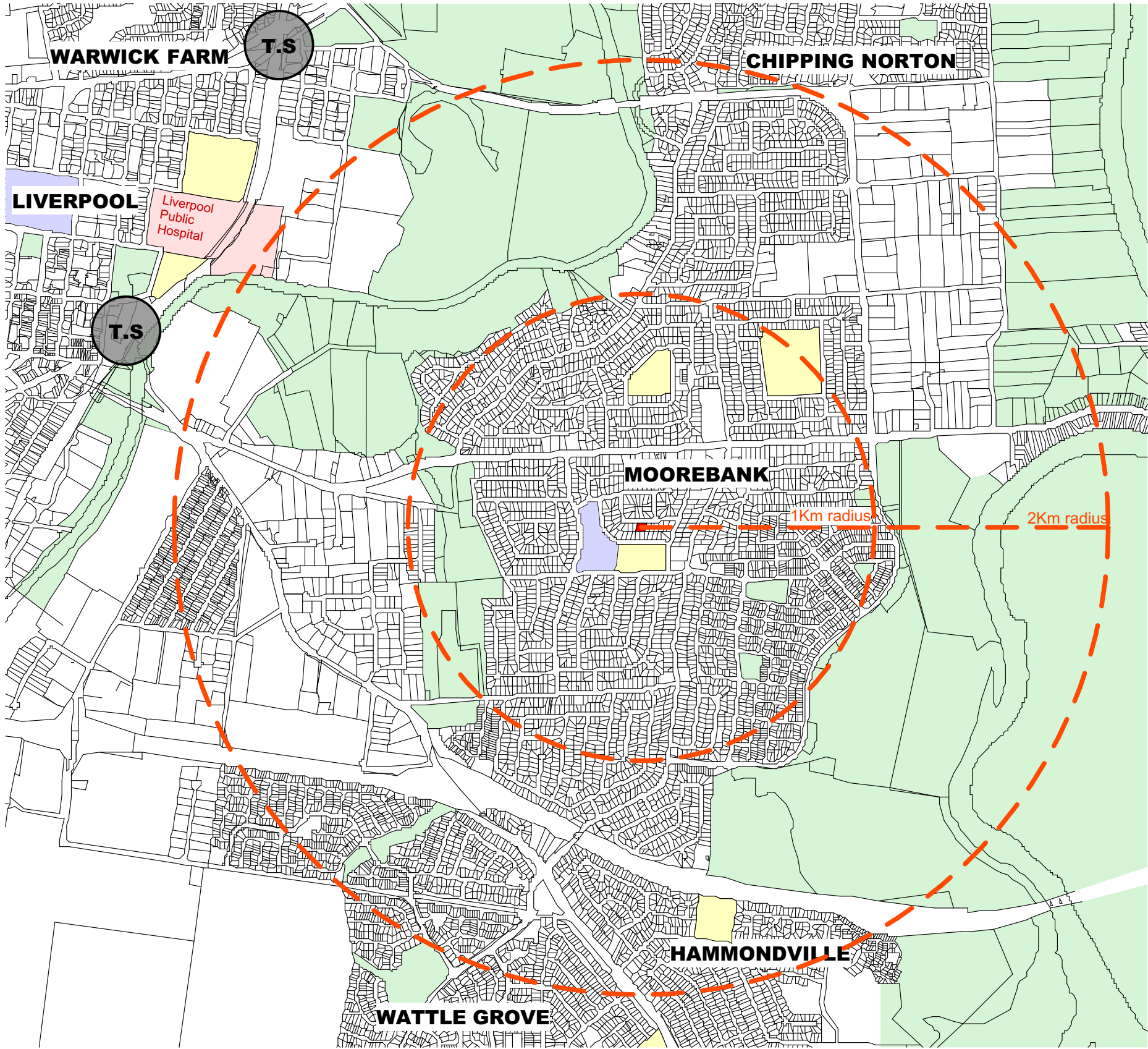
Consultants

VILLA+VILLA
ARCHITECTURE+INTERIORS+GRAPHICS
LEVEL 4/24 HICKSON RD MILLERS POINT NSW 2000
P: 61 2 9247 7667 ABN: 27 085 744 958
www.villaandvilla.com.au
© COPYRIGHT VILLA AND VILLA PTY LTD 2017

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers
a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 895, Liverpool Business Centre, NSW 1871
t 9608 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au
ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK
Client:
ANDREW HASTIE
Title:
FUTURE CHARACTER DESIGN

Drawn DR	Checked CZ	Date JAN. 2017
Activity Type DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A103	Issue C



PUBLIC OPEN SPACES

TRAIN STATIONS

EDUCATIONAL PLACES

PUBLIC HOSPITAL

SHOPPING CENTRE

PROPOSED DEVELOPMENT PROPERTY

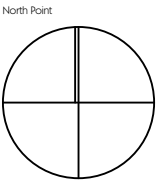
WIDER CONTEXT PLAN

Scale 1:20000

Issue	Description	Date	Drawn	Issued
A	ISSUED FOR DA.	27.06.2017	DR	CZ

General Notes:
1) All dimensions and floor areas are to be verified by the Builder prior to the commencement of any building work. Any discrepancies are to be brought to the attention of the designer.
2) Levels shown are approximate unless accompanied by reduced levels.
3) Figured dimensions must be taken in preference to scaling.
4) All boundary clearances must be verified by the surveyor prior to commencement of any building work.
5) Where engineering drawings are required such must take preference to this drawing.
6) Stormwater to be discharged to Council's requirements and AS 3500.3-1990.
7) All services to be located and verified by the Builder with relevant authorities before any building work commences.

COPYRIGHT:
This design and the associated documents is subject to copyright laws and may not be reproduced in any form without written consent from Algorry Zappia & Associates Pty Ltd.



Consultants

villa villa

Level 4, 24 Hickson Rd. Millers Point NSW 20 00
T: 02 9247 7667F: 02 9 247 7665
E: eduardo@villaandvilla.com.au Abn: 27 085 744 956
Eduardo Villa
Director / Qualified Architect.
(NSW Registration Board) Reg. No 6813

ALGORRY ZAPPIA & ASSOCIATES PTY. LTD.
Building Designers & Consulting Civil & Structural Engineers

a Suite 4, Level 1, 84 Bathurst Street, Liverpool, NSW 2170
P.O. Box 825, Liverpool Business Centre, NSW 1871
t 9602 3133 / 9602 0303 f 9601 6903
e admin@algorryzappia.com.au
w www.algorryzappia.com.au

ABN 43 064 952 692

Project:
PROPOSED RESIDENTIAL DEVELOPMENT
LOT. 29-30 - DP236405 - N.19-21 Harvey Avenue
MOOREBANK

Client:
ANDREW HASTIE

Title:
SITE LOCATION

Drawn DR	Checked CZ	Date: JAN. 2017
Activity Type: DA	Job # 2194-16	Scale @ A3 AS SHOWN
Project # P4882	Sheet # A101	Issue: A